

PARTNER

PROPERTY CONDITION ASSESSMENT

Palms on Ashley River

4370 Ladson Road
Summerville, South Carolina 29456

June 3, 2025

Partner Project Number: 25-496276.3

Prepared for:

Lincoln Avenue Communities

Santa Monica, California 29456



Engineers who understand your business

June 3, 2025

Mr. Jessie Cohan
Lincoln Avenue Communities
401 Wilshire Boulevard, 11th Floor
Santa Monica, California 29456

Subject: Property Condition Assessment
Palms on Ashley River
4370 Ladson Road
Summerville, South Carolina 29456
Partner Project No. 25-496276.3

Dear Mr. Cohan:

Partner Engineering and Science, Inc. is pleased to provide the results of the assessment performed on the above-referenced property. At a minimum, this assessment was performed in conformance with the scope and limitations as set forth by ASTM E2018-15 "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process and the South Carolina State Housing Finance and Development Authority (SC Housing) "2025 Qualified Action Plan (QAP)" and Physical Needs Assessment (PNA) for Rehabilitation Requirements, as specified in the engagement agreement that initiated this work.

The purpose of this assessment is to describe the primary systems and components of the subject property, to identify conspicuous defects or material deferred maintenance, and to present an opinion of costs to remedy to observed conditions. In addition, this report identifies systems or components that are anticipated to reach the end of their expected useful life during the specified evaluation term and includes an opinion of cost for future capital replacements. This assessment was performed utilizing methods and procedures consistent with good commercial or customary practices designed to conform to acceptable industry standards. The independent conclusions represent Partner's best professional judgment based upon existing conditions and the information and data available to us during the course of this assignment.

We appreciate the opportunity to provide these assessment services. If you have any questions concerning this report, or if we can assist you in any other matter, please contact Melissa Dahl at (201) 984-3651 or MDalh@partneresi.com.

Sincerely,



Brian McDearman AIA, CDT
Senior Project Manager



Melissa Dahl
Principal

EXECUTIVE SUMMARY AND PROPERTY DESCRIPTION

Executive Summary

Partner Engineering and Science, Inc. (Partner) has performed a Property Condition Assessment (PCA) of the parcel and improvements defined in the following table (the "subject property"). The assessment was performed in general accordance with ASTM E2018-15 "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process" and the SC Housing "2025 QAP" and PNA for Rehabilitation Requirements. The purpose of this Property Condition Assessment was to observe and document readily visible materials and building system defects that might significantly affect the value of the subject property and determine if conditions exist which may have a significant impact on the continued operation of the facility during the evaluation period.

Property Data	
Name	Palms on Ashley River
Address	4370 Ladson Road
City, State and Zip Code	Summerville, South Carolina 29456
Property use	Multi-family residential
Land acreage (acres)	13.430
Number of buildings	Nine
Number of floors	One to two, two, and three
Year built	2006
Gross building area (sf)	267,397
Net rentable area (sf)	230,784
Number of dwelling units	192
Foundation/Substructure	Concrete slab-on-grade with perimeter and interior footings under load bearing structures
Superstructure	Wooden decking supported by wooden trusses
Façade	Brick masonry and painted fiber cement lap siding and shakes
Roof type	Pitched, asphalt shingles
Parking area	Asphalt pavement at grade
Parking space count	361
ADA-designated parking count	15 designated accessible, of which one is van-designated
HVAC system	Split system units
Water supply piping	CPVC
Electrical branch wiring	Copper
Number of elevators	Not present
Fire suppression	Wet-pipe sprinkler system
Fire alarm	Central system with outside dialer

The buildings on the subject property are further described as follows:

Structure	Gross Building Area (SF)	Net Rentable Area (SF)
Building A – (12) 2 BR/3 BA, (12) 3 BR/2 BA	32,424	28,848
Building B – (12) 2 BR/3 BA, (12) 3 BR/2 BA	32,424	28,848
Building C – (12) 2 BR/3 BA, (12) 3 BR/2 BA	32,424	28,848
Building D – (12) 2 BR/3 BA, (12) 3 BR/2 BA	32,424	28,848
Building E – (12) 2 BR/3 BA, (12) 3 BR/2 BA	32,424	28,848
Building F – (12) 2 BR/3 BA, (12) 3 BR/2 BA	32,424	28,848
Building G – (12) 2 BR/3 BA, (12) 3 BR/2 BA	32,424	28,848
Building H – (8) 2 BR/2 BA, (8) 3 BR/2 BA	21,616	19,232
Building I – (4) 2 BR/2 BA, (4) 3 BR/2 BA, Leasing Office/Clubhouse	18,813	9,616

The dwelling unit types are as follows:

Type	Quantity	Average Area (SF)	Total Square Footage	Occupied Units	Vacant Units	Down Units
2 Bed/2 Bath	96	1,082	103,872	87	9	0
3 Bed/2 Bath	96	1,322	126,912	92	4	0
Total	192	1,203	230,784	179	13	0

Overall Condition

Based on the systems and components observed during the site visit, the subject property appeared to be in good to fair. The overall level of preventative maintenance appeared to be good to fair. The detailed observations of reviewed systems are presented in the following Sections of this report, with tabulated opinions of cost presented in the Appendices.

Reported Capital Expenditures

According to property management, the following capital improvements were completed within the last five years:

- Water efficiency upgrades appeared to be implemented at an unreported time, including replace fixtures with low-flow toilets, sink aerators, and shower heads.
- The leasing office was damaged by a fire during the summer of 2022 and has since been completely renovated.

Planned capital improvements were not reported by property management.

Immediate and Short-Term Repair Items

This report presents opinions of costs for items or conditions that require immediate action as a result of the following: Material existing or potentially unsafe conditions, material code violations, or any other physical deficiencies that if left uncorrected would be expected to result in or contribute to the failure of critical elements or systems within one year or may result in a significant increase in remedial costs. These items should be addressed at the first practical opportunity.

In addition, this report presents opinions of costs for items or conditions that may not require immediate action but should be conducted on a priority basis beyond routine maintenance. Generally, the recommended time frame for addressing these items is two years.

Deferred maintenance items and/or physical deficiencies that are considered significant are also identified in Table 1 - Immediate Repair and Deferred Maintenance Cost Opinion.

Replacement Reserve Items

In accordance with the terms under which this assessment was performed, this report includes opinions of costs for capital replacement reserve items that are anticipated to occur during a specified evaluation period. These items are identified in Table 2 – Long-Term Cost Opinion. Systems or components that are present at the subject property, but not listed in Table 2, are expected to realize a useful life that exceeds the evaluation period.

Cost Exclusions

This report excludes costs for systems or components that are reported to be a tenant responsibility to maintain and replace, that are generally associated with the normal operation of the subject property, which are part and parcel of a building renovation program, for enhancements to reposition the subject property within the marketplace, for work that is cosmetic or decorative, for work that is being conducted for warranty transfer purposes, and routine maintenance activities. This report also excludes costs that are below the reporting threshold established by the engagement agreement.

Deviation from ASTM E2018

The deviations listed below are part of the Partner standard operating procedures or were specified in the Client's scope of work.

- This report includes seismic zone information that is not required by the Standard.
- This report includes an opinion of costs for anticipated capital expenditures for an evaluation period defined by the Addressee. The costs are presented in Table 2.
- This report includes an evaluation of the condition of the observed components and systems.
- This report includes an evaluation of applicable accessibility standards.

Recommendations for Additional Investigations

During the observations at the subject property, the following suspect conditions were determined to warrant further investigation. Further detail of the issues observed is provided in the following sections of the report.

- Partner recommends property ownership/management prepare a Corrective Action Plan in order to adequately address the identified accessibility barrier issues. Additional analysis may be required by an architect/engineer in order to determine a proper course of action/correction, and/or to prepare an appropriate scope of work or related exhibits, drawings, diagrams or specifications.

TABLE 1 - IMMEDIATE REPAIRS & DEFERRED MAINTENANCE COST OPINION

Palms on Ashley River
4370 Ladson Road
Summerville, South Carolina 29456

Partner Project No. 25-496276.3
June 2, 2025

Sect. No.	Deficiency or Repair Item	Quantity	Unit	Unit Cost	Immediate Repair	Short-Term Cost	Total Cost
2.0	Regulatory Compliance						
	None Noted						
3.0	Site Improvements						
3.2.1	Precipitation was not present during the site assessment; consequently, direct observation of the operation of the storm water drainage system was not possible. Evidence of improper operation was not readily apparent. The detention pond was observed littered with rubbish. Additionally, the concrete standpipe serving the pond appeared to be tilted. Therefore, clearing of all rubbish from the pond and repair to the standpipe to maintain adequate drainage of the pond is recommended.	1	LS	\$5,000		\$5,000	\$5,000
3.2.2	Pavement appeared to be in good to fair structural condition. Map cracking was observed along the driving lane located to the west of Building D. Replacement of the noted area is recommended.	7,000	SF	\$3.00		\$21,000	\$21,000
3.2.7	Wood privacy fencing appeared to be in fair overall condition. Several wood boards were missing or damaged and a majority were observed with mildew and/or ivy growth. Based on age, condition, and EUL, replacement of the fencing system is recommended.	775	LF	\$25		\$19,375	\$19,375
3.2.9	The light fixtures were reported and appeared to be in fair to poor overall condition. Several fixtures were observed with cracked or shattered lenses and a majority were stained or filled with insects. Based on age, condition, and EUL, replacement of the breezeway fixtures is recommended.	144	EA	\$150		\$21,600	\$21,600
3.2.10	The playground appeared to be in fair overall condition. The play surface was somewhat barren, and equipment appeared worn, outdated, and had graffiti. Additionally, the swing set was missing all swings. Based on age, condition, and EUL, replacement of the play surface and playground equipment is recommended.	1	LS	\$25,000		\$25,000	\$25,000
4.0	Structural Frame and Building Envelope						
4.3.1	Fiber cement siding and soffits appeared to be in good to fair overall condition. Minor deficiencies, including missing fasteners, boards with chipped edges or small blunt trauma, deteriorated sealants, and soffit cracking were observed amongst a portion of wall and ceilings areas. Additionally, several locations of graffiti and mismatched, missing, and or faded paint finish were noted throughout. paint. Repair to the siding and soffits followed by replication of paints and sealants is recommended.	100,000	SF	\$0.75		\$75,000	\$75,000
4.4.1	The roofing systems appeared to be in good to fair overall condition. According to property management, the shingles are the originally installed systems. Based on our observations, the reported age appeared to be reasonable. Active roof leaks were not reported by management however evidence of former or active leaks were observed within units A304, B302, C307, and H201. Repair to the active leaks is recommended.	3	EA	\$1,500	\$4,500		\$4,500
4.5	Stairs appeared to be in good to fair condition. Excessive corrosion appears to be exhausting the EUL of the metal structural components of the first flight of stairs. A sister property corrected this deficiency by removing the risers on the first flight and installed new treads, which appeared to restrain the corrosion by allowing better drainage and drying off water on the systems. Overhaul of the of the stairs in a similar scope is recommended. Damaged treads amongst remaining flights should also be addressed at this time.	17	EA	\$5,000		\$85,000	\$85,000
4.3.2	Windows were reported and appeared to be in good overall condition. A bedroom window was gapped and wouldn't properly close in Unit C105. A living room window was broken in Unit D203. The window is reportedly ordered. A living room window lock was reportedly missing, and a bedroom window was gapped and wouldn't properly close in Unit G301. A windowpane was broken in Unit H208. Repair to these windows is recommended.	4	EA	\$400	\$1,600		\$1,600
5.0	Mechanical and Electrical Systems						
5.2	Dryer vents discharge hoods at the breezeways appeared to be in fair to poor condition. Several were missing or damaged. Additionally, substantial dryer lint was observed within the breezeways. Based on the observed condition, replacement of most vent hoods and cleaning of the vent is recommended. Similarly, excessive debris was observed within air handler closets and at HVAC intakes/registers. Cleaning of all HVAC ductwork is recommended in coordination with cleaning and replacement of the dryer vents.	192	UNIT	\$100	\$19,200		\$19,200
5.3	The washer outlets in the laundry rooms did not have GFCI protection. Installation of GFCI receptacles or breakers serving the associated circuits is recommended.	192	EA	\$50	\$9,600		\$9,600

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Partner Project No. 25-496276.3
June 2, 2025

Sect. No.	Deficiency or Repair Item	Quantity	Unit	Unit Cost	Immediate Repair	Short-Term Cost	Total Cost
6.0	Interior Elements						
6.2	Amenity finishes appeared to be in good condition. The leasing office and related amenity interiors were last renovated in 2022. However, the laundry room was down the day of the site assessment and was utilized as a storage room. Additionally, laundry appliances were not connected to their hookups. Measures to open operation of the laundry room are recommended (i.e., relocate non-laundry equipment, finish appliance installation, refinish any damaged incurred during use as storage, etc.).	1	LS	\$3,000	\$3,000		\$3,000
6.5.1	Carpeting appeared to be in good to fair overall condition. Approximately 44 dwellings were observed with blistering, stained, ripped, and/or pilling carpet. Refer to the unit printout for specific unit locations. Based on age, condition, and EUL, resetting, cleaning, and/or replacement of the aged carpeting as applicable is recommended.	44	UNIT	\$750		\$33,000	\$33,000
6.5.1	Wall and ceiling finishes appeared to be in good to fair overall condition. Minor deficiencies were observed, including, but not limited to, 20 locations of patched, peeling, and/or stained ceilings above select kitchens, bathrooms, and hallways due to former plumbing or roof leaks; and five units had light suspect microbial growth on walls surrounding the bathtub. Refer to the unit printout for specific unit locations. Based on age, condition, and EUL, addressal of the deficiencies is recommended.	25	EA	\$200		\$5,000	\$5,000
6.5.2	Cabinets and vanities appeared to be in good to fair overall condition. Approximately 18 units had casework with missing/damaged drawers and doors. Refer to the unit printout for specific unit locations. Based on age, condition, and EUL, repair to the areas of damaged casework is recommended.	18	EA	\$250		\$4,500	\$4,500
6.5.2	Countertops appeared to be in good overall condition. Approximately three units were observed with worn, scratched, and/or areas of charred finish. Refer to the unit printout for specific unit locations. Reglazing of the deficient counters is recommended.	3	EA	\$500		\$1,500	\$1,500
7.0	Accessibility						
7.1	A van accessible parking stall was provided within proximity of the leasing office; however, it was designed with a stall width of 96" and the access aisle was not at least 96". A compliant va stall either has a 132" width stall and a 60" width aisle or 96" width stall and aisle. Additionally, the aisle did not align directly with the nearby curb ramp. Therefore, increasing the aisle width to align the aisle with the ramp would both permit direct access to the aisle and provide the minimum required width. Associated costs are attributed to routine maintenance.	1	EA	\$0.00	\$0		\$0
7.2	Nine access aisles serving accessible parking stalls amongst the residential parking areas had widths less than 60". Remarking the aisles and nearby stalls to provide the minimum required widths is advised.	10	EA	\$300	\$3,000		\$3,000
7.2	Two accessible parking stalls amongst the residential parking areas did not have an adjacent access aisle nor curb cut ramp connection to the accessible route. Installation of 60" access aisles with curb ramps is advised.	2	EA	\$2,500	\$5,000		\$5,000
7.2	Two accessible parking stalls amongst the residential parking areas did not have signage. Installation of appropriate signage is advised. Associated costs are attributed to routine maintenance.	2	EA	\$0.00	\$0		\$0
7.2	The mailboxes were positioned with an unobstructed side approach clear floor space and had operable parts upwards of 66" AFF, respectively. The provided clear floor space has an accessible reach range defined as between 9" and 54" AFF. Lowering all ground floor "covered units" to within the range is advised. Costs are attributed to routine maintenance.	1	EA	\$0.00	\$0		\$0

TABLE 1 - IMMEDIATE REPAIRS & DEFERRED MAINTENANCE COST OPINION

Palms on Ashley River
4370 Ladson Road
Summerville, South Carolina 29456

Partner Project No. 25-496276.3
June 2, 2025

Sect. No.	Deficiency or Repair Item	Quantity	Unit	Unit Cost	Immediate Repair Cost	Short-Term Cost	Total Cost
7.2	The kitchens of ground floor 2 BR/2 BA floorplan dwellings had kitchens designed as galleys, which are required to be at least all opposing walls, appliances, cabinetry, etc. The galleys were observed to be 38" to 39" between the refrigerator and dishwasher. The remaining galley widths are at least 40" as required. Therefore, installation of counter depth refrigerator appliances within each ground floor "covered" dwelling is advised.	34	EA	\$800	\$27,200		\$27,200
7.2	The hallway bathroom of ground floor 3 BR/2 BA floorplan dwellings did not have a centered, side approach 30" x 48" clear floor space at the lavatory due to the proximity of the water closet. Similarly, the master bathroom did not have a centered, side approach 30" x 48" clear floor space since the lavatory was only 15" from the side wall of the restroom. In such configurations, sinks with removable base cabinetry and finished flooring for an adaptable centered, forward approach would suffice. However, the presence of removable bases and finished flooring was not apparent, reported by property management, nor indicated on the reviewed architectural drawings. Therefore, installation of removable base cabinetry within each ground floor "covered" 3 BR/2 BA dwelling is advised.	68	EA	\$500	\$34,000		\$34,000
7.2	The range-ovens of the Type A/UFAS Accessible dwellings were positioned adjoining the rear wall, thereby not provided a centered, side approach 30" x 48" clear floor space. Modification of the kitchens in these units to provide the appropriate floor spaces and clearances is advised. This work must maintain compliance with Type A/UFAS kitchen design at other appliances, workspaces, etc.	10	EA	\$2,000	\$20,000		\$20,000
7.5	The subject property was designed with ten Type A units, and their design appear to comply with UFAS mobility requirements. However, the Type A units do not provide at least one bathroom equipped with an ADA/ANSI A117.1 compliant 36" x 60" minimum usable floor space roll-in shower. Modification of the Type A bathrooms to meet this requirement is advised.	10	EA	\$3,000	\$30,000		\$30,000
7.5	Hearing and sight impairment smoke detectors were observed within the Type A units; however they did not meet the full requirements of ANSI A117.1 Section 1006. Additionally, even if the requirements were met, the same units cannot be used to satisfy both the 5% and 2% requirements. Therefore, modification of four non-Type A units for full compliance is advised. Call-for-aid devices are also required.	4	EA	\$1,000	\$4,000		\$4,000
7.5	Accessible signage is provided throughout the common area; however, dwelling unit signage was not accessible. Installation of accessible signage at each unit entry door is advised.	192	EA	\$50	\$9,600		\$9,600
7.6	Based upon the observed conditions, the subject property appeared to meet the applicable accessibility requirements except as noted above (Immediate Repairs). As such, Partner recommends property ownership/management prepare a Corrective Action Plan in order to adequately address the identified accessibility barrier issues. Additional analysis may be required by an architect/engineer in order to determine a proper course of action/correction, and/or to prepare an appropriate scope of work or related exhibits, drawings, diagrams or specifications.	1	EA	\$0.00	\$0		\$0
8.0	Water Intrusion and Microbial Growth						
	None Noted						
				TOTAL	\$ 170,700	\$ 295,975	\$ 466,675

TABLE 2 - LONG-TERM COST OPINION

Palms on Ashley River
4370 Ladson Road
Summerville, South Carolina 29456
"As-Is Condition"

Partner Project No. 25-496276.3
June 2, 2025

Number of units: 192
Site effective age (years): 19
Inflation rate: 2.5%
Evaluation period (years): 20

Sect. No.	Description	Avg EUL (YR)	Eff Age (YR)	Planned Capital Repair	Eff. RUL (YR)	On Site Qty	Qty in Eval Period	Unit	Unit Cost	YR 1	YR 2	YR 3	YR 4	YR 5	YR 6	YR 7	YR 8	YR 9	YR 10	YR 11	YR 12	YR 13	YR 14	YR 15	YR 16	YR 17	YR 18	YR 19	YR 20	Total Cost	
3.0 Site Improvements																															
3.2.2	Asphalt seal coat & striping	5	1	No	4	125,000	500,000	SF	\$0.15				\$ 18,750				\$ 18,750					\$ 18,750						\$ 18,750		\$ 75,000	
3.2.2	Asphalt overlay	25	16	No	9	125,000	125,001	SF	\$2.00								\$ 83,334	\$ 83,334	\$ 83,334											\$ 250,002	
3.2.2	Concrete paving sealing, expansion joints, Repair	5	0	No	5	5,500	22,000	SF	\$0.50					\$ 2,750					\$ 2,750					\$ 2,750					\$ 2,750	\$ 11,000	
3.2.4	Irrigation system, Refurbish	25	16	No	9	4	4	ACRE	\$5,000									\$ 20,000												\$ 20,000	
3.2.6	Monument sign, Replace	25	10	No	15	1	1	EA	\$7,500															\$ 7,500						\$ 7,500	
3.2.7	Fencing, wood plank, Replace	20	0	No	20	775	775	LF	\$25																			\$ 19,375	\$ 19,375		
3.2.7	Fencing, vinyl, Replace	15	5	No	10	185	185	LF	\$20										\$ 3,700											\$ 3,700	
3.2.9	Exterior lighting, breezeway, Replace	10	0	No	10	148	165	EA	\$100										\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 16,500	
3.2.10	Pools, Resurface	15	5	No	10	1	1	LS	\$20,000										\$ 20,000											\$ 20,000	
3.2.10	Pool pumps, filters, Replace	10	5	No	5	1	2	LS	\$5,000					\$ 5,000										\$ 5,000						\$ 10,000	
3.2.10	Playground, equipment, Replace	10	0	No	10	1	2	LS	\$25,000										\$ 25,000									\$ 25,000	\$ 50,000		
3.2.10	Mailboxes, Replace	15	12	No	3	192	384	UNIT	\$150			\$ 28,800															\$ 28,800			\$ 57,600	
4.0 Structural Frame and Building Envelope																															
4.3.1	Brick veneer, Repointing	8	2	No	6	25,000	50,000	SF	\$0.50					\$ 12,500								\$ 12,500								\$ 25,000	
4.3.1	Fiber cement siding, soffits, Painting	8	0	No	8	100,000	200,000	SF	\$0.75								\$ 75,000							\$ 75,000						\$ 150,000	
4.3.2	Windows, vinyl, single-hung, Replace	30	16	No	14	1,538	1,538	EA	\$350										\$ 76,900	\$ 76,900	\$ 76,900	\$ 76,900	\$ 76,900	\$ 76,900	\$ 76,900	\$ 76,900				\$ 538,300	
4.3.3	Dwelling unit entry doors, Replace	25	16	No	9	192	192	EA	\$450					\$ 12,343	\$ 12,343	\$ 12,343	\$ 12,343	\$ 12,343	\$ 12,343	\$ 12,343										\$ 86,401	
4.4.1	Roofing, ACS, Replace	20	16	No	4	115,000	115,001	SF	\$2.50			\$ 95,834	\$ 95,834	\$ 95,834																\$ 287,502	
4.4.2	Gutters, downspouts, Replace	20	16	No	4	5,000	5,000	LF	\$7.50			\$ 12,500	\$ 12,500	\$ 12,500																\$ 37,500	
4.5	Exterior stairs, precast treads, Replace	40	35	No	5	992	400	EA	\$50					\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 1,250	\$ 20,000	
5.0 Mechanical and Electrical Systems																															
5.1	Water heater, Replace	12	var	No	var	193	340	EA	\$400	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 6,800	\$ 136,000	
5.2	Split-system heat pump, Replace	15	var	No	var	193	260	EA	\$1,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 19,500	\$ 390,000	
5.2	Split-system furnace/fan coil, Replace	20	var	No	var	193	200	EA	\$1,250	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 12,500	\$ 250,000	
5.3	Interior lighting, dwellings, Replace	20	var	No	var	192	200	UNIT	\$300	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 3,000	\$ 60,000	
5.5.2	Fire alarm panels and devices, Replace	20	12	No	8	1	1	LS	\$50,000						\$ 16,667	\$ 16,667	\$ 16,667													\$ 50,001	

TABLE 2 - LONG-TERM COST OPINION

Palms on Ashley River
4370 Ladson Road
Summerville, South Carolina 29456
"As-Is Condition"

Partner Project No. 25-496276.3
June 2, 2025

Number of units: 192
Site effective age (years): 19
Inflation rate: 2.5%
Evaluation period (years): 20

Sect. No.	Description	Avg EUL (YR)	Eff Age (YR)	Planned Capital Repair	Eff. RUL (YR)	On Site Qty	Qty in Eval Period	Unit	Unit Cost	YR 1	YR 2	YR 3	YR 4	YR 5	YR 6	YR 7	YR 8	YR 9	YR 10	YR 11	YR 12	YR 13	YR 14	YR 15	YR 16	YR 17	YR 18	YR 19	YR 20	Total Cost
6.0	Interior Elements																													
6.1-3	Common, amenity, & service area finishes, Replace	15	5	No	10	2,500	2,500	SF	\$10																					\$ 25,000
6.5.1	Apartment carpet (BR, LR, Hall) Reolace	7	var	No	var	182	520	UNIT	\$1,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 26,000	\$ 520,000
6.5.1	Apartment carpet (BR) Replace	7	var	No	var	10	40	UNIT	\$500	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 20,000
6.5.1	Apartment vinyl (KI, BA) Replace	15	var	No	var	182	260	UNIT	\$250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 3,250	\$ 65,000
6.5.1	Apartment vinyl (KI, BA, LR, Hall) Reolace	15	var	No	var	10	20	UNIT	\$750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 750	\$ 15,000
6.5.2	Apartment cabinets, vanities, Replace	20	17	No	3	192	180	EA	\$3,000			\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 30,000	\$ 540,000
6.5.2	Apartment countertops, laminate, Replace	15	var	No	var	192	260	EA	\$500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 6,500	\$ 130,000
6.5.3	Apartment range-ovens, Replace	15	var	No	var	192	260	EA	\$450	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 5,850	\$ 117,000
6.5.3	Apartment refrigerators, Replace	12	var	No	var	192	320	EA	\$600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 9,600	\$ 192,000
6.5.3	Apartment dishwashers, Replace	12	var	No	var	192	320	EA	\$300	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 96,000
Uninflated Totals:										\$ 99,550	\$ 99,550	\$ 266,684	\$ 256,634	\$ 259,227	\$ 155,643	\$ 159,810	\$ 318,144	\$ 281,894	\$ 381,327	\$ 221,543	\$ 209,200	\$ 209,200	\$ 240,450	\$ 224,450	\$ 284,200	\$ 132,300	\$ 161,100	\$ 151,050	\$ 179,425	\$ 4,291,381
Inflated Totals:										\$ 99,550	\$ 102,039	\$ 280,185	\$ 276,367	\$ 286,138	\$ 176,096	\$ 185,331	\$ 378,173	\$ 343,460	\$ 476,225	\$ 283,594	\$ 274,489	\$ 281,351	\$ 331,463	\$ 317,142	\$ 411,606	\$ 196,400	\$ 245,133	\$ 235,586	\$ 286,838	\$ 5,467,165

Years 1-10 Uninflated: \$ 1,187 Years 1-10 Inflated: \$ 1,356 Uninflated cost per unit per year: \$1,118
Years 11-20 Uninflated: \$ 1,048 Years 11-20 Inflated: \$ 1,491 Inflated cost per unit per year: \$1,424

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FIGURES AND APPENDICES

The following report Figures and Appendices are attached at the end of this report.

Figures	Figure 1: Site Location Map
	Figure 2: Site Plan
Appendices	Appendix A: Site Photographs
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1.0 INTRODUCTION

1.1 Purpose

The purpose of this assessment is to provide information to evaluate the condition of the subject property in order to facilitate completion of due diligence by the addressee. The purpose is accomplished by describing the primary systems and components of the subject property, identifying conspicuous defects or material deferred maintenance, and presenting an opinion of cost to remedy the observed conditions. In addition, this report identifies systems or components that are anticipated to reach the end of their expected useful life during the specified evaluation period and includes an opinion of cost for future capital replacements.

1.2 Scope of Work

This assessment was performed in conformance with the scope and limitations as set forth by ASTM E2018-15 "Standard Guide for Property Condition Assessments: Baseline Property Condition Assessment Process" (the Standard) and as specified in the engagement agreement that initiated this work. Specific requirements or deviations from the minimum ASTM standard are described herein.

This assessment was performed utilizing methods and procedures consistent with good commercial or customary practices designed to conform to acceptable industry standards. The independent conclusions represent Partner's best professional judgment based upon existing conditions and the information and data available to us during the course of this assignment.

1.3 Cost Evaluation Methodology

Opinions of costs presented within this report are based on construction costs developed by construction resources such as Marshall & Swift, RS Means, Partner's experience with past costs for similar projects, city cost indexes, consultations with local specialty contractors, client-provided information, and assumptions regarding future economic conditions. Actual cost estimates are determined by many factors including but not limited to: choice and availability of materials, choice and availability of a qualified contractor, regional climate zone, quality of existing materials, site compatibility, and access to the subject property and buildings. In addition, opinions of costs are based solely on material replacement and do not account for soft costs.

Items included in the replacement reserve table are determined based upon the estimated useful life (EUL) of a system or component, the apparent effective age (EA) of the system, and the remaining useful life (RUL) of that system. Factors that may affect the age and condition of a system include, but are not limited to, the frequency of use, exposure to environmental elements, quality of construction and installation, and amount of maintenance provided. Based on these factors, a system may have an effective age that is greater or less than its actual chronological age.

1.4 Descriptive Qualifiers

The following definitions and terminology are used in this report regarding the physical condition of the project, and the estimated life expectancies/age of the components and systems.

Good	In working condition and does not require immediate or short term repairs above an agreed threshold.
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Fair	In working condition but may require immediate or short term repairs above an agreed threshold.
Poor	Not in working condition or requires immediate or short-term repairs substantially above an agreed threshold.

The agreed threshold is presumed to be the de minimis reporting threshold, unless otherwise specified in this report.

Unless stated otherwise in this report, the systems reviewed are considered to be in good condition and their performance appeared to be satisfactory.

1.5 User Reliance

Partner was engaged by the Addressee, or their authorized representative, to perform this assessment. The engagement agreement specifically states the scope and purpose of the assessment, as well as the contractual obligations and limitations of both parties. This report and the information therein, are for the exclusive use of the Addressee. This report has no other purpose and may not be relied upon, or used, by any other person or entity without the written consent of Partner. Third parties that obtain this report, or the information therein, shall have no rights of recourse or recovery against Partner, its officers, employees, vendors, successors or assigns. Any such unauthorized user shall be responsible to protect, indemnify and hold Partner, the Addressee and their respective officers, employees, vendors, successors and assigns harmless from any and all claims, damages, losses, liabilities, expenses (including reasonable attorneys' fees) and costs attributable to such use. Unauthorized use of this report shall constitute acceptance of, and commitment to, these responsibilities, which shall be irrevocable and shall apply regardless of the cause of action or legal theory pled or asserted. Additional legal penalties may apply.

Partner will not materially benefit from the Development in any other way than receiving a fee for performing the engaged due diligence. Partner is not a Related Party to or an Affiliate of any other Development Team member. Partner has read and understands the related requirements of the engagement and conditions as per SC Housing.

This report has been completed under specific Terms and Conditions relating to scope, relying parties, limitations of liability, indemnification, dispute resolution, and other factors relevant to any reliance on this report. Any parties relying on this report do so having accepted Partner's standard Terms and Conditions, a copy of which can be found at <https://www.partneresi.com/terms-conditions>

2.0 RECONNAISSANCE, REGULATORY AND DOCUMENT REVIEW

2.1 Site Reconnaissance

Date: May 19 and 20, 2025
Weather: Day 1 - 85 degrees, mostly sunny
Day 2 - 89 degrees, mostly sunny
Field Assessor: Emily Long
Escort: Ms. Adrienne Howard, Palms on Ashley River

Limiting Conditions

The performance of this assessment was limited by the following condition(s):

- A pre-survey questionnaire was not completed at the time of the assessment.
- Roofs are pitched, not safely accessible, and were observed from ground level.
- Unit I101 was not accessible due to an aggressive tenant.

Observed Tenant Spaces

Partner observed 99 percent of the 192 total dwelling units in order to formulate an accurate estimate of repair, replacement and major maintenance needs. Partner concludes the quantity of observed units is an appropriate statistical sampling method/technique to reach the conveyed conclusions about repair needs.

Unit Inspection List

Unit	Floorplan	Entry Status	Occupancy	Kitchen Condition	Kitchen Comments	Living Room Condition	Living Room Comments	Bedroom Condition	Bedroom Comments	Bathroom Condition	Bathroom Comments
A-A101	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
A-A102	3 BR/2 BA	Entered	Occupied	Good	Disjointed VCT and old ceiling staining.	Good		Good		Good	Disjointed VCT hallway bathroom.
A-A103	2 BR/2 BA	Entered	Occupied	Good	Disjointed VCT	Fair	Blistering carpet and scuffed walls.	Good		Good	Damaged VCT adjacent to tub of hallway bathroom. Ceiling stained in both.
A-A104	2 BR/2 BA	Entered	Occupied	Good	Cabinet door missing at entrance to galley.	Good	Carpet stained.	Good		Good	Old water damage near vent fan of hallway bathroom. Missing drawer in master bathroom.
A-A105	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
A-A106	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
A-A107	3 BR/2 BA	Entered	Occupied	Good		Good	Stained carpeting.	Good	Suspect growth and staining at rear bedroom closet, possibly due to unsealed exterior wall	Good	Leak and suspect growth beneath hallway bathroom sink.
A-A108	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
A-A201	3 BR/2 BA	Entered	Occupied	Good		Fair	Blistering/peeling carpet	Good		Good	Suspect growth above both bathtubs.
A-A202	3 BR/2 BA	Entered	Occupied	Good		Good	Patched area near the window. Dirty/scuffed finishes throughout unit.	Good	Patched area rear bedroom.	Good	
A-A203	2 BR/2 BA	Entered	Occupied	Good	One missing drawer.	Good		Good		Good	
A-A204	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
A-A205	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
A-A206	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Cabinet drawer missing.
A-A207	3 BR/2 BA	Entered	Occupied	Good		Good	Stained and blistering carpet	Good	Blistering carpet.	Good	
A-A208	3 BR/2 BA	Entered	Occupied	Good		Good	Stained carpeting.	Good	Stained carpeting.	Fair	Missing VCT and light fixture in hallway bathroom.
A-A301	3 BR/2 BA	Entered	Occupied	Fair	Dishwasher shell damaged, finishes worn and dirty throughout kitchen.	Fair	Carpeting staining and worn walls.	Fair	Carpeting staining and worn walls. Hole in wall rear bedroom.	Fair	Damaged floor adjacent to hallway bathroom tub. Two drawers missing hallway bathroom. Corroded register master bathroom.
A-A302	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
A-A303	2 BR/2 BA	Entered	Occupied	Good		Fair	Stained carpeting. Scuffed/dirty finishes.	Fair	Stained carpeting. Scuffed/dirty finishes.	Good	Missing drawer master bathroom.
A-A304	2 BR/2 BA	Entered	Occupied	Good	New paint.	Good	New carpet and paint.	Good	New carpet and paint.	Good	New paint
A-A305	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Missing drawer in hallway bathroom.
A-A306	2 BR/2 BA	Entered	Vacant	Fair	Needs turn	Fair	Needs turn	Fair	Needs turn	Fair	Needs turn
A-A307	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Fair	Hallway bathroom has subfloor and broken vinyl issues.
A-A308	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Fair	One drawer missing master bathroom and vanity finish worn. Damaged VCT adjacent to tub of hallway bathroom. Water damage and suspect growth beneath hallway bathroom sink.
B-B101	3 BR/2 BA	Entered	Vacant	Good	New plank and paint. Counter needs resurfaced.	Good	New plank and paint.	Good	New paint and carpet.	Good	New plank and paint.
B-B102	3 BR/2 BA	Entered	Occupied	Good	Cabinet drawer missing.	Good		Good		Good	Tub needs resurfaced. Currently peeling.
B-B103	2 BR/2 BA	Entered	Occupied	Good	Leak under kitchen sink.	Fair	Carpet stains, damaged wall and doors	Fair	Carpet stains, damaged wall and doors	Good	Missing drawers in vanity. Hallway bathroom ceiling stained.
B-B104	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
B-B105	2 BR/2 BA	Entered	Occupied	Fair		Fair	Carpet pilled and stained throughout. Blemished and dirty walls.	Fair	Carpet pilled and stained throughout. Blemished and dirty walls.	Good	
B-B106	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
B-B107	3 BR/2 BA	Entered	Occupied	Good		Fair	Carpet stains and dirty/blemished walls.	Fair	Carpet stains and dirty/blemished walls.	Good	
B-B108	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
B-B201	3 BR/2 BA	Entered	Occupied	Fair	Leak in kitchen. Water standing on floor.	Good	Stained carpeting.	Good		Fair	Mold on ceiling. Light missing.
B-B202	3 BR/2 BA	Entered	Occupied	Good		Good	Stained carpeting.	Good	Stained carpeting.	Good	
B-B203	2 BR/2 BA	Entered	Occupied	Good	Refrigerator freezer and lighting not working.	Good	New carpet and paint.	Good		Good	New vinyl plank and paint.
B-B204	2 BR/2 BA	Entered	Occupied	Good	Some paint on cabinetry and counter.	Good	Carpet stains and blemished walls.	Good		Good	Missing drawer in hallway bathroom.
B-B205	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
B-B206	2 BR/2 BA	Entered	Occupied	Good	Vinyl plank flooring.	Good	Vinyl plank flooring.	Good	Former leak master bedroom due to clogged AC above.	Good	
B-B207	3 BR/2 BA	Entered	Occupied	Good		Good		Good	Rear bedroom and master bedroom/bath door locked	Good	Peeling paint hallway bathroom above tub.
B-B208	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	

Unit Inspection List

Unit	Floorplan	Entry Status	Occupancy	Kitchen Condition	Kitchen Comments	Living Room Condition	Living Room Comments	Bedroom Condition	Bedroom Comments	Bathroom Condition	Bathroom Comments
B-B301	3 BR/2 BA	Entered	Occupied	Good		Good		Good	Roof leak master bedroom ceiling, not sure of activeness.	Good	
B-B302	3 BR/2 BA	Entered	Occupied	Good	Two drawers damaged/missing at corner.	Good		Good		Good	
B-B303	2 BR/2 BA	Entered	Occupied	Good	Kitchen drawer missing.	Good	Living room fan doesn't work.	Good		Good	Water pressure in hallway.
B-B304	2 BR/2 BA	Entered	Occupied	Good							
B-B305	2 BR/2 BA	Entered	Vacant	Fair	Needs turn	Fair	Needs turn	Fair	Needs turn	Fair	Needs turn
B-B306	2 BR/2 BA	Entered	Occupied	Good		Good	Carpet stains	Good	Carpet stains	Good	
B-B307	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
B-B308	3 BR/2 BA	Entered	Occupied	Good	New vinyl plank and paint.	Good	New carpet and paint.	Good	New carpet and paint.	Good	New vinyl plank and paint.
C-C101	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C102	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C103	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C104	2 BR/2 BA	Entered	Vacant	Good		Good	Ripped carpeting	Fair	Stained carpeting, damaged outlets, blemished walls.	Good	Missing drawer and patched ceiling/delaminating paint on hallway bathroom ceiling.
C-C105	2 BR/2 BA	Entered	Occupied	Good	Dishwasher leaking. Stove issues.	Good		Good	Window gapped.	Good	
C-C106	2 BR/2 BA	Entered	Occupied	Fair	Missing cabinet drawers	Fair	Stained carpet, needs paint	Fair	Leak. Dehumidifer. Replace trim.	Fair	Stained drywall.
C-C107	3 BR/2 BA	Entered	Occupied	Good	New plank and paint. Counters need glazing.	Good	New plank and paint.	Good	New carpet.	Good	New plank and paint. Counters need glazing.
C-C108	3 BR/2 BA	Entered	Occupied	Good		Good		Fair	Good	
C-C201	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C202	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C203	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C204	2 BR/2 BA	Entered	Occupied	Fair		Fair	Stained carpeting and blemished walls.	Fair	Stained carpeting and blemished walls.	Fair	Hallway tub and finishes worn.
C-C205	2 BR/2 BA	Entered	Occupied	Good	New vinyl plank and paint.	Good		Good	New paint and carpet.	Good	New plank and paint.
C-C206	2 BR/2 BA	Entered	Occupied	Good		Good	Stained carpeting.	Fair	Major leak in HVAC closet and on the ceiling.	Fair	Bathroom ceiling leak from upper floor.
C-C207	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C208	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C301	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C302	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C303	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C304	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C305	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
C-C306	2 BR/2 BA	Entered	Occupied	Good		Good	Stained carpeting.	Good	Stained carpeting.	Good	
C-C307	3 BR/2 BA	Entered	Occupied	Fair		Fair	Roof leak in living room.	Fair		Fair	
C-C308	3 BR/2 BA	Entered	Occupied	Good	Leak in kitchen. Water standing on floor.	Good	New carpet.	Good	New carpet.	Good	
D-D101	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	One drawer missing in each bathroom. Hallway bathroom ceiling has a leak.
D-D102	3 BR/2 BA	Entered	Occupied	Good	One drawer missing to left of sink.	Good	Carpet stained. Blemished walls.	Good	Carpet stained/blemished walls.	Good	
D-D103	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
D-D104	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
D-D105	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Leak around toilet.
D-D106	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
D-D107	3 BR/2 BA	Entered	Occupied	Fair	Dishwasher and faucet sprayer doesn't work.	Good		Good		Fair	Leak around the base of shower in hall bathroom.
D-D108	3 BR/2 BA	Entered	Vacant	Good		Good		Good		Good	Damaged drawers master bathroom and hallway bathroom.
D-D201	3 BR/2 BA	Entered	Occupied	Good	Blemished finishes throughout.	Good	HVAC closet leaking. Staining on molding and carpet.	Good	Blemished finishes throughout.	Good	Blemished finishes throughout.
D-D202	3 BR/2 BA	Entered	Occupied	Good	GFCI needs replace. Kitchen drawer missing.	Good		Good		Good	
D-D203	2 BR/2 BA	Entered	Occupied	Good		Good	Window broken. Ordered - not replaced yet.	Good		Good	Drawer missing hallway bathroom.
D-D204	2 BR/2 BA	Entered	Occupied	Good	Tenant installed stick on vinyl. Missing drawer.	Good		Good		Good	
D-D205	2 BR/2 BA	Entered	Occupied	Good		Good	New carpet.	Good	New carpet.	Good	
D-D206	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Drawer missing master bathroom.
D-D207	3 BR/2 BA	Entered	Vacant	Good		Fair	Stained carpet blemished walls. Old water stains on ceiling	Fair	Stained carpet blemished walls.	Good	Suspect growth on master bathroom ceiling above tub.
D-D208	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Missing drawer in hallway bathroom.
D-D301	3 BR/2 BA	Entered	Occupied	Good	Blemished walls throughout.	Good	Blemished walls throughout.	Good	Blemished walls throughout.	Good	Blemished walls throughout.
D-D302	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
D-D303	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Fair	Tenant installed new counter and Damaged vinyl adjacent to tub hallway bath.
D-D304	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
D-D305	2 BR/2 BA	Entered	Occupied	Good	blemished finishes: refrigerator and garage disposal.	Good		Good		Good	Missing drawer in hallway bathroom.
D-D306	2 BR/2 BA	Entered	Occupied	Fair		Fair	Stained and ripped carpet	Good	Blemished finishes.	Good	
D-D307	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	

Unit Inspection List

Unit	Floorplan	Entry Status	Occupancy	Kitchen Condition	Kitchen Comments	Living Room Condition	Living Room Comments	Bedroom Condition	Bedroom Comments	Bathroom Condition	Bathroom Comments
D-D308	3 BR/2 BA	Entered	Occupied	Good	Counters need reglaze.	Good		Good		Good	Counters need reglaze
E-E101	3 BR/2 BA	Entered	Occupied	Good		Good	Carpet stained and blistered. Baseboards dirty and damaged.	Good	Carpet stained and blistering.	Good	Suspect growth behind toilet of hallway bathroom. Missing paint about master bedroom shower.
E-E102	3 BR/2 BA	Entered	Occupied	Good	New vinyl plank flooring and paint.	Good		Good	New paint.	Good	Active ceiling leak.
E-E103	2 BR/2 BA	Entered	Occupied	Good	New vinyl plank flooring and paint.	Good	New vinyl plank flooring and paint.	Good		Good	Leak under sink in hallway bathroom.
E-E104	2 BR/2 BA	Entered	Vacant	Good	New appliances.	Fair	New flooring throughout, however, painters destroyed the flooring.	Fair	Mold on walls of hallway and bedroom.	Fair	Water leak in master bathroom.
E-E105	2 BR/2 BA	Entered	Occupied	Good		Good	Some wheelchair scuffs in the hallway.	Good		Good	
E-E106	2 BR/2 BA	Entered	Occupied	Good		Good	Stained carpeting.	Good	Water staining on ceiling.	Good	Vent fan and light cover missing. Evidence of water leak repair.
E-E107	3 BR/2 BA	Entered	Occupied	Good	New paint.	Good	New paint.	Good	Blistering carpet master bedroom. New paint.	Good	Disjointing VCT hallway bathroom. New paint.
E-E108	3 BR/2 BA	Entered	Occupied	Good	Strong odor.	Good		Good		Good	
E-E201	3 BR/2 BA	Entered	Occupied	Good		Good	Blistering carpet.	Good	Blistering carpet.	Good	Small crack on hallway bathroom tub. Evidence of leak in both bathrooms. Mold in master bathroom.
E-E202	3 BR/2 BA	Entered	Occupied	Good		Good	Carpet stains and scuffed walls.	Good	Carpet stains and scuffed walls.	Good	Evidence of former leak. HVAC area leaking into unit below.
E-E203	2 BR/2 BA	Entered	Occupied	Good		Good	Carpet blistering in the hallway.	Good		Good	
E-E204	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Evidence of former leak in hallway bathroom.
E-E205	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
E-E206	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
E-E207	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Ceiling stain on hallway bathroom ceiling near register. Peeling on ceiling in hallway bathroom.
E-E208	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
E-E301	3 BR/2 BA	Entered	Occupied	Good	Missing drawer next to laundry and damaged counter between oven and sink.	Fair	Stained carpeting. Hole on wall near foyer.	Good	Stained carpeting.	Fair	Peeling/missing paint about hallway bathroom tub. Two drawers missing at master bathroom vanity.
E-E302	3 BR/2 BA	Entered	Occupied	Fair	Kitchen drawers missing.	Fair	AC Cover needs reattached.	Fair	Needs turn	Fair	Evidence of leak in hallway near bathroom.
E-E303	2 BR/2 BA	Entered	Vacant	Fair	Stained countertop, needs turn	Fair	Needs turn	Fair	Needs turn	Fair	Needs turn
E-E304	2 BR/2 BA	Entered	Occupied	Fair	Burned countertops	Fair	Needs new flooring/paint	Fair	Needs new flooring/paint	Fair	Needs new flooring/paint
E-E305	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
E-E306	2 BR/2 BA	Entered	Vacant	Fair		Fair	Stained carpet.	Fair		Fair	One drawer missing in hallway bathroom.
E-E307	3 BR/2 BA	Entered	Occupied	Fair	Countertops need replaced	Good		Good	Door needs replaced in hallway bedroom.	Good	Toilet seat needs replaced in hallway bathroom.
E-E308	3 BR/2 BA	Entered	Occupied	Good	Counter adjacent to range charred.	Good		Good		Good	
F-F101	3 BR/2 BA	Entered	Occupied	Good	Vinyl plank flooring.	Good		Good		Good	
F-F102	3 BR/2 BA	Entered	Occupied	Good	Damaged counter at the sink.	Good		Good	Water damage on the ceiling from upstairs leak in back bedroom. Light fixture needs replaced.	Fair	Tenant reported that there used to be leaks upstairs, which have since been fixed but they think it affected the electrical for the hallway bathroom ventilation fan, which the power cuts out when used. The walls and ceiling require painting and some suspect growth observed to the fan not being used. master bedroom has peeling paint and minor growth above the bathtub.
F-F103	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Hallway bathroom has corroded register and missing paint above bathtub.
F-F104	2 BR/2 BA	Entered	Occupied	Good		Good		Good	Molding has water stain in master bedroom.	Good	
F-F105	2 BR/2 BA	Entered	Occupied	Good	Garbage disposal broken.	Good		Good		Good	Shower faucet needs replaced.
F-F106	2 BR/2 BA	Entered	Occupied	Good	Drawer face missing. New plank flooring and paint.	Good	New plank flooring and paint.	Good	New carpet and paint.	Good	New plank flooring and paint.
F-F107	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
F-F108	3 BR/2 BA	Entered	Occupied	Good	Air in faucet line to kitchen sink.	Good	Fan not working.	Good		Fair	Stained and peeling ceiling hallway bathroom. Worn and disjointed VCT in the hallway bathroom. Peeling ceiling master bathroom.
F-F201	3 BR/2 BA	Entered	Occupied	Good	Missing drawers.	Good		Good		Good	Missing drawers.
F-F202	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
F-F203	2 BR/2 BA	Entered	Occupied	Good		Good		Good	Peeling/missing paint on small bedroom ceiling. Secure fan.	Good	Baseboards behind toilet of the hallway bathroom have suspect growth.
F-F204	2 BR/2 BA	Vacant	Occupied	Good		Good		Good		Good	
F-F205	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
F-F206	2 BR/2 BA	Entered	Vacant	Good	New paint.	Good	New paint and carpet.	Good	New paint and carpet.	Good	New paint.
F-F207	3 BR/2 BA	Entered	Occupied	Good		Good	Carpet stained/ripping.	Good	Carpet stained/ripping.	Good	

Unit Inspection List

Unit	Floorplan	Entry Status	Occupancy	Kitchen Condition	Kitchen Comments	Living Room Condition	Living Room Comments	Bedroom Condition	Bedroom Comments	Bathroom Condition	Bathroom Comments
F-F208	3 BR/2 BA	Entered	Occupied	Fair	No damaged but finishes worn.	Good		Good		Good	New plank flooring
F-F301	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
F-F302	3 BR/2 BA	Entered	Occupied	Good	New plank flooring. Microwave dislodged.	Good	Requires painting.	Good	Requires painting. Door missing to one bedroom.	Good	New plank flooring. Requires painting. Missing drawer.
F-F303	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
F-F304	2 BR/2 BA	Entered	Occupied	Good	One drawer missing.	Good		Good		Good	
F-F305	2 BR/2 BA	Entered	Occupied	Good		Good	Stained carpeting.	Good	Stained carpeting.	Good	
F-F306	2 BR/2 BA	Entered	Occupied	Good		Good	Stained carpet. Damaged walls.	Good	Stained carpet.	Good	
F-F307	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
F-F308	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G101	3 BR/2 BA	Entered	Occupied	Good	New vinyl plank. Faucet low pressure. Air in line.	Good	New vinyl plank.	Good	New carpet.	Good	New vinyl plank.
G-G102	3 BR/2 BA	Entered	Occupied	Good		Fair	Carpet ripped and stained. Walls blemished/dirty. Former leak stained the ceiling.	Fair	Carpet ripped and stained. Walls blemished/dirty	Good	Master bathroom door damaged. Damaged VCT around hallway toilet.
G-G103	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Damaged VCt around master bathroom toilet.
G-G104	2 BR/2 BA	Entered	Occupied	Good	New vinyl plank and paint.	Good	New vinyl plank and paint.	Good	New carpet and paint.	Good	New vinyl plank and paint.
G-G105	2 BR/2 BA	Entered	Occupied	Good		Fair	Stained carpeting and blemished walls.	Fair	Stained carpeting and blemished walls.	Good	
G-G106	2 BR/2 BA	Entered	Occupied	Good	Missing drawer	Good		Good		Good	
G-G107	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G108	3 BR/2 BA	Entered	Occupied	Good	Missing drawer.	Good		Good		Good	
G-G201	3 BR/2 BA	Entered	Occupied	Fair		Good		Good		Fair	
G-G202	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G203	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G204	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G205	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G206	2 BR/2 BA	Entered	Occupied	Good		Good		Good	Door off hinges.	Good	Missing drawer.
G-G207	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G208	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G301	3 BR/2 BA	Entered	Occupied	Good		Good	Window lock missing on one window.	Good	Window gapped. Won't shut properly.	Good	
G-G302	3 BR/2 BA	Entered	Occupied	Good		Fair	Carpet burned in hallway.	Good		Good	
G-G303	2 BR/2 BA	Entered	Occupied	Good		Good	Carpet a little stained.	Good		Good	Ceiling in master bathroom peeled and wall is stained.
G-G304	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G305	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G306	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
G-G307	3 BR/2 BA	Entered	Vacant	Good	Needs turn	Good	Needs turn	Good	Needs turn	Good	Needs turn
G-G308	3 BR/2 BA	Entered	Occupied	Fair	Vinyl needs replaced.	Fair	Carpet stained.	Fair	Carpet stained.	Fair	Carpet stained.
H-H101	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
H-H102	3 BR/2 BA	Entered	Occupied	Fair	Needs turn. Dishwasher needs replaced.	Good		Good		Fair	Water damaged ceiling in hallway bathroom.
H-H103	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	Damaged tile master bathroom.
H-H104	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
H-H105	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
H-H106	2 BR/2 BA	Entered	Occupied	Good		Good		Good	Door broken.	Good	Faucet is broken.
H-H107	3 BR/2 BA	Entered	Occupied	Good		Good	New plank floor.	Good		Good	
H-H108	3 BR/2 BA	Entered	Occupied	Good	Dishwasher not draining.	Good		Good		Good	
H-H201	3 BR/2 BA	Entered	Occupied	Good	Roof leak by light over kitchen sink.	Good	Replace thermostat	Good		Good	
H-H202	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
H-H203	2 BR/2 BA	Entered	Occupied	Good		Good	Carpet blistering in the hallway	Good	Carpet blistering master bedroom	Good	Damaged drawer hallway bath
H-H204	2 BR/2 BA	Entered	Vacant	Good	Stainless appliances.	Good	New carpet	Good	New carpet	Good	
H-H205	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
H-H206	2 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
H-H207	3 BR/2 BA	Entered	Occupied	Good		Good		Good		Good	
H-H208	3 BR/2 BA	Entered	Occupied	Good		Good	Window pane broken.	Fair	Leak repaired. Wall needs to be repaired in master bedroom.	Good	
I-I101	2 BR/2 BA	Entered	Occupied	Good	New vinyl plank and paint	Good	New vinyl plank and paint	Good	New carpet and paint	Good	New vinyl plank and paint
I-I102	2 BR/2 BA	Entered	Occupied	Good	New vinyl plank and paint	Good	New vinyl plank and paint	Good	New carpet and paint	Good	New vinyl plank and paint
I-I103	3 BR/2 BA	Entered	Occupied	Fair	Worn finishes	Fair	Stained carpeting worn finishes	Fair	Stained carpeting and worn finishes. Replace a missing door.	Good	
I-I104	3 BR/2 BA	Entered	Occupied	Fair	Missing a drawer face	Fair	Needs turn	Fair	Needs turn	Good	
I-I201	2 BR/2 BA	Entered	Occupied	Good	Needs turn	Fair	Needs turn	Fair	Needs turn	Good	Needs turn
I-I202	2 BR/2 BA	Entered	Vacant	Fair	Missing drawer face	Fair	Needs turn	Fair		Good	
I-I203	3 BR/2 BA	Entered	Occupied	Good	New vinyl plank and paint.	Good	New carpet and paint	Good	New carpet and paint	Good	New vinyl plank and paint.
I-I204	3 BR/2 BA	Entered	Occupied	Good		Good	Carpet needs replaced.	Good	Carpet needs replaced.	Good	

2.2 Property Personnel Interviewed/Contacted

The following personnel associated with the subject property were interviewed as part of the preparation of this report. Information obtained from the interviews is incorporated into the appropriate Sections of this report. The persons interviewed were cooperative and appeared to have limited knowledge about the subject property history and maintenance practices.

Individual	Position or Title	Contact Number/Email
Ms. Adrienne Howard	Property Manager	(843) 832-6111

2.3 Regulatory Compliance Inquiry

Building Codes		Town of Summerville Building Department	
Contact:	PENDING	Email/Telephone:	PENDING
Findings:	<input type="checkbox"/> No Violations	<input type="checkbox"/> Violations	<input checked="" type="checkbox"/> Awaiting response
Awaiting response. A written request for information was submitted on June 2, 2025; no response was received prior to the preparation of this report.			
Fire or Life Safety		Town of Summerville Fire & Rescue Department	
Contact:	PENDING	Email/Telephone:	PENDING
Findings:	<input type="checkbox"/> No Violations	<input type="checkbox"/> Violations	<input checked="" type="checkbox"/> Awaiting response
Awaiting response. A written request for information was submitted on June 2, 2025; no response was received prior to the preparation of this report.			
Zoning		Town of Summerville Zoning Department	
Contact:	PENDING	Email/Telephone:	PENDING
Findings:	<input type="checkbox"/> No Violations	<input type="checkbox"/> Violations	<input checked="" type="checkbox"/> Awaiting response
Awaiting response. A written request for information was submitted on June 2, 2025; no response was received prior to the preparation of this report.			
According to a review of the zoning map obtained from the Summerville GIS Services, the subject property is zoned "MF-R," Multifamily Residential. Based on a cursory review of the zoning ordinance, multi-family is a permitted use within the district.			

This information does not constitute a detailed regulatory-compliance investigation and any code compliance issues noted in this report are based on information provided by the regulatory agencies noted above. If possible, the provided information was confirmed with on-site observations. Additional information that is received within 30 days of the site visit will be forwarded upon receipt.

2.4 Document Review

The following documents were readily available or provided to Partner for reference as part of this assessment.

- As-Built Land Survey, prepared by Commercial Real Estate Due Diligence Management., dated June 7, 2022 and last revised June 13, 2022
- Certificates of Occupancy, dated February 17, 2006 through July 12, 2006

- Construction Drawings, prepared by Martin Riley Associates, dated October 29, 2004 and last revised August 26, 2005
Agreement As To Restrictive Covenants, dated December 1, 2004 and Amendments, dated December 8, 2006
- Dorchester County Real Property Inquiry, accessed online June 2, 2025
- Dorchester County GIS, accessed online June 2, 2025
- Federal Emergency Management Agency (FEMA) flood hazard layer FIRMet, accessed online June 2, 2025
- ASCE 41-13 seismic scores, accessed online June 2, 2025
- Fire alarm, sprinkler, and extinguisher inspection tags, prepared by National Fire & Safety, dated November 20, 2024

3.0 PROPERTY CHARACTERISTICS

3.1 Parcel Configuration

The subject property improvements are placed upon one parcel. The parcel is irregularly shaped, and according to the reviewed ALTA/NSPS Survey, the site comprises approximately 13.430 acres. Additionally, the survey displays 20' in width sewer easements along the south, east, and west boundaries of the parcel and 15' in width water easements enter through the two entry drives, generally following of the path of the driving lanes and branch toward each structure. Additionally, both entry drives are listed as ingress/egress and general utility easements.

3.2 Site Improvements

3.2.1 Topography and Storm Water Drainage

The general vicinity and subject property are relatively flat, with gentle rolling slopes.

Storm water is managed by a series of on-site storm drains that are interconnected and attached to a storm water retention pond located at the southwest corner of the subject property. The detention pond discharges into a storm water system that is owned and maintained by the municipality.

The subject property is connected to a storm sewer system that is owned and maintained by the municipality.

Survey Condition and Analysis

The topography appeared to be in good overall condition and appeared to adequately accommodate the built improvements. Routine maintenance is anticipated during the evaluation period.

Precipitation was not present during the site assessment; consequently, direct observation of the operation of the storm water drainage system was not possible. Evidence of improper operation was not readily apparent. The detention pond was observed littered with rubbish. Additionally, the concrete standpipe serving the pond appeared to be tilted. Therefore, clearing of all rubbish from the pond and repair to the standpipe to maintain adequate drainage of the pond is recommended. An opinion of cost for this work is included in Table 1.

3.2.2 Vehicular Access, Paving

Vehicular access is provided by two-way drive lanes leading from the adjacent public right-of-way to the on-site parking areas and drive aisles. Signalization is not present at the entrance points to the subject property.

Asphalt pavement is utilized throughout a majority of the subject property and concrete is utilized at the paved surfaces within the vicinity of the solid waste compactor.

Curbing placed at the parking area perimeters and interior islands consists of cast-in-place concrete.

Based on a physical count, parking areas provide a total of 361 spaces, including 15 designated accessible spaces, of which one is van designated.

Survey Condition and Analysis

Pavement appeared to be in good to fair structural condition. Map cracking was observed along the driving lane located to the west of Building D. Replacement of the noted area is recommended. An opinion of cost for this work is included in Table 1. Based on age, condition, and EUL, milling and overlay are anticipated during the evaluation period. An opinion of costs for this work is included in Table 2.

Asphalt seal coat and pavement markings/striping appear to be in good condition. Aerial imaging suggests the pavement was last sealed in 2022. Based on age and EUL, reapplication of the seal coat and markings/striping is recommended throughout the evaluation period. An opinion of cost for this work is included in Table 2.

Concrete pavement appeared to be in good condition. Based on age and EUL, replacement of expansion joints and sealing of cracks is anticipated throughout the evaluation period. An opinion of cost for this work is included in Table 2.

Curbing appeared to be in good condition. Routine maintenance, including minor sectional replacement, is anticipated throughout the evaluation period.

3.2.3 Walkways, Grade-Level Steps and Ramps

Building entrance flatwork and pedestrian walkways consist of cast-in-place concrete construction. Ramps and steps with handrails accommodate sidewalk grade changes.

Survey Condition and Analysis

The pedestrian concrete walkways appear to be in good condition. Limited cracking was noted throughout. Routine maintenance, including minor sectional replacement, is anticipated throughout the evaluation period.

3.2.4 Landscaping and Irrigation

Landscaped areas consisting of grass-covered lawns, floral plantings, trees, and shrubs are provided in areas not occupied by the buildings, walkways, or pavement. An underground automatic irrigation system is provided.

Survey Condition and Analysis

Vegetative materials appeared to be in good overall condition. Routine maintenance, including as-needed replacement of vegetation, is anticipated throughout the evaluation period.

The irrigation system appeared to be in good overall condition. Based on age and EUL, overhaul of the sprinkler system is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

3.2.5 Retaining Walls

Retaining walls are not present.

3.2.6 Site and Building Signage

Property signage consists of a monument sign located at the main vehicular entrance to the subject property, adjacent to Ladson Road. In addition, the apartment buildings contain exterior wall-mounted identification, and individual dwelling unit address numbers are located at dwelling unit entrances.

Survey Condition and Analysis

The signage appeared to be sufficient and in good condition. Routine maintenance is anticipated throughout the evaluation period.

3.2.7 Perimeter Walls, Gates, and Fences

Wood privacy fencing is located along the north perimeter and a portion of the north end of the east perimeter; a gate is situated at the northeast corner.

Chain link fencing is utilized along the west side of the site, forming a buffer between the drainage basin and earthen stormwater swale.

Vinyl fencing and gates enclose the community pool deck.

Survey Condition and Analysis

Wood privacy fencing appeared to be in fair overall condition. Several wood boards were missing or damaged and a majority were observed with mildew and/or ivy growth. Based on age, condition, and EUL, replacement of the fencing system is recommended. An opinion of cost for this work is included in Table 1. Based on EUL, replacement is also anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

Chain link fencing appeared to be in good overall condition and is anticipated to last beyond the reserve term. Routine maintenance is anticipated throughout the evaluation period.

Vinyl fencing appeared to be in good overall condition. Based on age and EUL, replacement is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

3.2.8 Waste Storage Area

A designated solid waste trash compactor is towards the northeast corner of the site and is staged on a concrete pad within a concrete masonry unit (CMU) enclosure. The enclosure is clad by brick veneer exterior and is equipped with wood gates.

Survey Condition and Analysis

The compactor is owned and maintained by an outside third party vendor (Green Remedies). The waste storage area appeared to be in good to fair condition. Wood boards were missing from the west side of the gate and several trash items were observed outside the compactor and on the concrete pad. Due to limited scope of work and de minimis condition, repair may be handled as part of routine maintenance.

3.2.9 Exterior Lights

Outdoor lighting is provided by fiberglass pole-mounted globe fixtures equipped mercury vapor high-intensity discharge (HID) lamps located in parking areas and along pedestrian walkways. Breezeways are equipped with wall and ceiling-mounted surface fixtures fitted with fluorescent lamps.

Survey Condition and Analysis

The site assessment was conducted during daylight hours and lighting operation could not be verified. Based on the number of lights provided and the spacing, the lighting appeared to be adequate and was reported to be sufficient for the subject property.

The light fixtures were reported and appeared to be in fair to poor overall condition. Several fixtures were observed with cracked or shattered lenses and a majority were stained or filled with insects. Based on age, condition, and EUL, replacement of the breezeway fixtures is recommended. An opinion of cost for this work is included in Table 1. Based on age and EUL, replacement is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

3.2.10 Site Amenities

Site amenities include a community pool, playground, two mail centers, and a gazebo.

The community pool adjoins the leasing office/clubhouse to the southwest and is an in-ground. The pool is constructed of concrete with a painted plaster finish and ceramic tile at the water line. A concrete coping is located around the edge of the pool and surrounding deck surfaces are concrete. Equipment is located in a dedicated room within the leasing office/clubhouse.

The playground is located towards the center of the site within the quad formed by Buildings C, D, and E and contains metal-plastic play equipment. Surface coverage consists of mulch with a plastic perimeter.

The mail centers are located at the quad formed by Buildings A, B, and C and within the breezeway of Building I. The mailboxes near Buildings A, B, and C are located beneath a canopy constructed of pillars supporting an asphalt shingled roof. The mailboxes are constructed of aluminum, with keyed access provided to each dwelling.

The gazebo is located towards the center of the site within the quad formed by Buildings C, D, and E and is constructed of pillars supporting an asphalt shingled roof. Adjacent to the gazebo is a charcoal grill.

Survey Condition and Analysis

The swimming pool appeared to be in good overall condition. Replacement of the pool lining, and equipment is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

The playground appeared to be in fair overall condition. The play surface was somewhat barren, and equipment appeared worn, outdated, and had graffiti. Additionally, the swing set was missing all swings. Based on age, condition, and EUL, replacement of the play surface and playground equipment is recommended. An opinion of cost for this work is included in Table 1. Based on EUL, replacement of the playground equipment and surrounding surfaces and perimeters is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

The mail center appeared to be in good overall condition. Replacement of wall finishes, and roofing may be performed during the evaluation period as needed in coordination with building envelope work. Based on age and EUL, replacement of the mailboxes is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

The gazebo appeared to be in good overall condition. A hole was observed on the soffit/ceiling and pillar and roof finishes appeared worn. Patching of the soffit and refresh of the paint finishes is recommended. Due to the limited scope of work and de minimis condition, this work may be handled as part of routine maintenance.

3.2.11 Utility Service Providers

Utility	Provider	Meter configuration and location
Storm Water	Summerville Public Works	
Electric	Dominion Energy	Unit meters mounted on side exterior walls.
Gas	Not applicable.	Not applicable.
Water	Summerville Public Works	Building meters located in underground vaults.
Sanitary Sewer	Summerville Public Works	

Survey Condition and Analysis

Significant issues or service deficiencies were not noted or reported. A sewer line cleanout located between Building D and E and within the west Breezeway of Building A were missing caps and A cleanout located between Building C and D had a damaged cap. Due to the limited scope of work and de minimis condition, installation a new cap may be handled as part of routine maintenance.

3.2.12 Special Utility Systems

Special utility systems are not present.

4.0 STRUCTURAL FRAME AND BUILDING ENVELOPE

4.1 Foundation/Substructure

According to as-built drawings, foundations consist of a welded wire mesh (WWM) concrete slab on grade with continuous strip footings at the perimeter and isolated spread footings at interior bearing locations.

Survey Condition and Analysis

Evidence of structural distress indicative of foundation settlement was not observed. Foundations appeared to be in functional condition. Normal monitoring of the foundation is anticipated during the evaluation period.

4.2 Building Frame

The buildings are constructed of conventional, wood-stud platform framing. Upper floors consist of wooden beams and trusses with concrete-topped, wooden sheathing supported by interior wooden columns.

The pitched roof structure consists of engineered-wood trusses with oriented strand board (OSB) decking. The roof trusses form an attic that is accessible by a ceiling hatch located in the upper floor corridor. Attics contain draft stops, and ventilation is provided by ridge, soffit, and gable vents. Attics are insulated with blown-in material with an installed thermal efficiency rating of R-30.

Survey Condition and Analysis

Evidence of structural distress indicative of framing failure was not observed. The framing appeared to be in functional condition. Normal monitoring of the framing is anticipated during the evaluation period.

Fire retardant-treated plywood (FRTD) was not observed at the attic spaces.

4.3 Facades or Curtain Walls

4.3.1 Exterior Walls

The exterior walls of each building consist of painted fiber cement board siding with brick veneer accents. Brick sills and composite/wood trim are utilized at respective wall openings.

Survey Condition and Analysis

The brick veneer appeared to be in good overall condition. The envelope system is anticipated to last beyond the reserve term; however, brick pointing and cleaning is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

Fiber cement siding and soffits appeared to be in good to fair overall condition. Minor deficiencies, including missing fasteners, boards with chipped edges or small blunt trauma, deteriorated sealants, and soffit cracking were observed amongst a portion of wall and ceilings areas. Additionally, several locations of graffiti and mismatched, missing, and or faded paint finish were noted throughout. Repair to the siding and soffits followed by replication of paints and sealants is recommended. An opinion of cost for this work is included in Table 1. Based on the observed condition of the paint finish and the average effective useful life of paint coatings, reapplication of the paint finish is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

4.3.2 Windows

Windows appeared to be double-pane, single-hung units. Window framing appeared to be vinyl.

Survey Condition and Analysis

Windows were reported and appeared to be in good overall condition. A bedroom window was gapped and wouldn't properly close in Unit C105. A living room window was broken in Unit D203. The window is reportedly ordered. A living room window lock was reportedly missing, and a bedroom window was gapped and wouldn't properly close in Unit G301. A windowpane was broken in Unit H208. Repair to these windows is recommended. An opinion of cost for this work is included in Table 1. Signs of window leaks or condensation were not evident in the remaining windows during the site assessment. Window sealants appeared to be intact, with no signs of deterioration. Based on age and EUL, the windows are anticipated to be replaced the evaluation period. An opinion of cost for this work is included in Table 2.

4.3.3 Doors

Leasing office/clubhouse, laundry room, pool deck, and maintenance/mechanical doors consist of painted paneled, metal-clad doors set in painted wood-frames. Hardware includes a lever handle and a deadbolt. The maintenance shop is also equipped with an aluminum panel overhead door that is manually operated.

Dwelling unit entry doors consist of painted paneled, metal-clad doors set in painted wood-frames. Hardware includes a locking knob or lever handle, deadbolt, peephole, and/or a chain latch.

Survey Condition and Analysis

Doors were reported and appeared to be in good overall condition. Based on age and EUL, the doors are anticipated to be replaced during the evaluation period. An opinion of cost for this work is included in Table 2.

4.3.4 Parapets

Parapets are not present.

4.4 Roofing

4.4.1 Roofing Materials

According to the site escort, a roofing contractor conducts roof maintenance and repairs.

Property management was unaware of or unable to locate an active roofing warranty.

The roofing systems appeared to be in good to fair overall condition. According to property management, the shingles are the originally installed systems. Based on our observations, the reported age appeared to be reasonable. Active roof leaks were not reported by management, however evidence of former or active leaks were observed within units A304, B302, C307, and H201. Repair to the active leaks is recommended. An opinion of cost for this work is included in Table 1. Based on age, condition, and EUL replacement of the roofing is anticipated early in the reserve term. An opinion of cost for this work is included in Table 2.

4.4.2 Roof Drainage

The roofs are equipped with gutters and downspouts discharging storm water directly to the site's stormwater management system.

Survey Condition and Analysis

The gutters and downspouts appeared to be in good overall condition. Buildings G and H adjoin woodland at their rear elevations and were observed with clogged gutters. Additionally, a downspout at the rear of Building G was disconnected from its discharge point into the underground stormwater system. Clearing and repair of all gutters and downspouts as needed is recommended. Due to the limited scope of work and de minimis condition, this work may be handled as part of routine maintenance. Based on age and EUL, gutters and downspouts are anticipated to be replaced during the evaluation period and should coincide with roofing replacements. An opinion of costs for this work is included in Table 2.

4.5 Fire Escapes, Stairs or Balconies

Fire escapes and balconies are not provided.

The buildings have two to three exterior breezeway stairs systems providing access to the second floor and third floor tenant spaces. The exterior stairs are constructed of steel stringers with metal risers and support brackets topped with precast concrete treads. The landings are framed by wood joists with wood decking. Steel pipe guardrails are located on the open sides, while steel handrails are located on adjacent walls. All observed steel components are painted. Vinyl guardrails are utilized at the intermediary landings.

Survey Condition and Analysis

Stairs appeared to be in good to fair condition. Excessive corrosion appears to be exhausting the EUL of the metal structural components of the first flight of stairs. A sister property corrected this deficiency by removing the risers on the first flight and installed new treads, which appeared to restrain the corrosion by allowing better drainage and drying off water on the systems. Overhaul of the of the stairs in a similar scope is recommended. Damaged treads amongst remaining flights should also be addressed at this time. An opinion of cost for this work is included in Table 1. Stair frames are anticipated to last beyond the term; however based on age and EUL, precast tread replacement is anticipated throughout the evaluation period. An opinion of cost for this work is included in Table 2.

Painting of the stairs and railings as well as sealing of the wood decking and framing will promote the life expectancy of the components and can be performed in conjunction with the painting of the building exteriors and interior common areas.

5.0 MECHANICAL AND ELECTRICAL SYSTEMS

5.1 Plumbing, Domestic Hot Water, and Sewer Systems

Domestic water piping was reported to be CPVC by property management. Observation of visible piping at water heaters and plumbing stub-outs indicates that the piping is CPVC.

Sanitary drainage and vent piping was reported to be PVC by property management. Observation of visible vent piping indicates that the piping is PVC.

Domestic hot water to the dwelling units is provided by an individual electric water heater located in the utility closet of each unit. Manufactured by A.O. Smith, each water heater has a rated capacity of 38 to 46.5 gallons and provides heating via 4,500 watt electrical resistance elements. A portion of the tanks are equipped with fiberglass insulation.

Domestic hot water to the leasing office/clubhouse spaces, including the community laundry room, is provided by an electric water heater located in the maintenance shop. Manufactured by A.O. Smith, the water heater has a rated capacity of 50 gallons and provide heating via a 4,500 watt electrical resistance element.

Survey Condition and Analysis

The plumbing systems were reported to be in good overall condition. Evidence of leaks or faulty piping was not observed. Routine maintenance is anticipated during the evaluation period.

The sanitary drainage and vent system was reported to be in good overall condition. Evidence of leaks or faulty piping was not observed. Routine maintenance is anticipated during the evaluation period.

The water heaters appeared to be in good to fair overall condition. A majority of the water heaters appear to be original to the subject property's construction (approximately 16 years in age). Based on observed prevalence and conversation with the site escort, approximately 10% of the units have been replaced. The original devices appear to be outliving their EUL. Phased replacement is anticipated throughout the evaluation period. Opinion of cost for this work is included in and Table 2.

5.2 Heating, Air Conditioning, and Ventilation

Heating and cooling are provided by direct expansion (DX) HVAC split systems. Each system has a heat pump unit located at grade and a fan coil/furnace unit located in interior utility closet. Manufactured by Goodman, the heat pumps have a typical input capacity of 2 to 2.5 tons at the dwelling units and 5-tons-tons at the leasing office/clubhouse, use R-22 refrigerant, and have a SEER rating of 13; newer models use R-410A refrigerant with a SEER rating of 14. A reversing valve within the heat pumps controls the direction of refrigerant flow to provide either heating or cooling. The furnace units at the dwellings provide emergency heating during excessively cold ambient outdoor temperatures through 5,000- to 8,000-watt electric resistance coils. Distribution of the conditioned air is by concealed sheet metal ductwork and temperature control is by a local thermostat.

Ventilation is provided by individual and common area fans that vent through the roof or exterior wall.

Survey Condition and Analysis

According to property management, the mechanical equipment is maintained by in-house staff.

Heat pumps appeared to be in good overall condition. A majority of the units appear to be original to the subject property's construction (approximately 16 years in age), with approximately 30 to 40 being newer models. The original devices appear to be outliving their EUL and property management reported that refrigerant compressors are routinely replaced as needed. Based on age, condition, and EUL, phased replacement of the condenser is anticipated throughout the evaluation period. An opinion of cost for this work is included in and Table 2.

Refrigerant lines appeared to be in good condition. The lines are anticipated to last beyond the reserve term and replacement of insulation may be handled as part of routine maintenance during the term.

Air handlers and furnaces appeared to be in good overall condition. Management reported that air coils have been replaced as needed and that air handlers are typically replaced at the time of heat pump replacement for refrigerant compatibility. Based on age and EUL, phased replacement of the air handlers and furnaces is anticipated throughout the evaluation period. An opinion of cost for this work is included in and Table 2.

Bathroom fans appeared to be in good overall condition. Phased replacements are anticipated during the evaluation period and may be handled as part of routine maintenance.

Dryer vents discharge hoods at the breezeways appeared to be in fair to poor condition. Several were missing or damaged. Additionally, substantial dryer lint was observed within the breezeways. Based on the observed condition, replacement of most vent hoods and cleaning of the vent is recommended. Similarly, excessive debris was observed within air handler closets and at HVAC intakes/registers. Cleaning of all HVAC ductwork is recommended in coordination with cleaning and replacement of the dryer vents. An opinion of cost for this work is included in Table 1.

5.3 Electrical

The subject property is served by pad mounted, utility-owned electrical transformers. Each apartment building is supplied by one or two electric services and the leasing office/clubhouse with one service, with distribution panels located on the side exterior walls. The main electrical distribution panels for each service have a rating of 600 or 800 amps, 120/240 volt, single phase, three wire and were manufactured by General Electric.

The subject property is individually metered, and dwelling service breakers are located at the main distribution panels and rated at 125 amps. Each dwelling unit is provided with an individual circuit breaker panel located within the unit. The dwelling unit panels and equipment were manufactured by General Electric.

Primary wiring (multi-strand conductors) to resident panels was reported to be aluminum, with the secondary branch circuits noted to be copper. Three-prong outlets were observed through the dwelling units, where applicable. Ground fault circuit interrupter (GFCI) receptacles were observed in the bathrooms and kitchens, with both bathrooms connected on the same circuit and a GFCI receptacle provided in one of the bathrooms.

Surface and ceiling fan incandescent and fluorescent fixtures provide the interior lighting.

Survey Condition and Analysis

The electrical service was reported to be adequate for the current demands of the facility. The switchgear, circuit breaker panels, electrical meters, and wiring appeared to be in good condition. A service disconnect breaker serving a panel at the north exterior wall of Building F was missing its cover. Due to the limited scope of work and de minimis condition, replacement may be handled as part of routine maintenance.

The washer outlets in the laundry rooms did not have GFCI protection. Installation of GFCI receptacles or breakers serving the associated circuits is recommended. An opinion of cost for this work is included in Table 1.

Interior lighting appeared to be in good overall condition. Based on age and EUL, phase replacement of lamps and as-needed replacement of fixtures is recommended throughout the evaluation period. An opinion of cost for this work is included in Table 2.

5.4 Vertical Transportation

Vertical conveyances, such as elevators, are not present.

5.5 Life Safety and Fire Protection

5.5.1 Fire Suppression Systems

Fire hydrants are located at several points adjacent to the parking areas.

The apartment buildings are protected by automatic fire protection systems, consisting of a wet-pipe automatic sprinkler system. Water is supplied via a fire sprinkler line from the municipal main/water storage tank that is reportedly fitted with flow and tamper switches and a backflow prevention device located in the riser room of each building. Fire department connections are located on front elevation exterior walls. Fire sprinkler piping appeared to be CPVC.

Fire extinguishers were observed in common areas, corridors, and in mechanical/electrical spaces.

Survey Condition and Analysis

The fire suppression system appeared to be in good overall condition. The system is reportedly tested on an annual basis. Current inspection tags were on the risers, with the last inspection having occurred November 20, 2024 by National Fire & Safety. Routine maintenance, including regularly scheduled testing, is anticipated during the evaluation period.

Current inspection tags were observed on the fire extinguishers. They are reportedly inspected on a yearly basis, with the last inspection having occurred November 2024 by National Fire & Safety. Routine maintenance, including regularly scheduled testing, is anticipated during the evaluation period.

5.5.2 Alarm Systems

The fire alarm system is reportedly comprised of heat/smoke detectors, pull stations, and alarm horn/strobes. A central fire alarm control panel monitors the fire panels of each building, which in turn monitors their respective smoke detectors, pull stations, and sprinkler system flow switches. The main panel

is an IntelliKnight 5820XL model and the auxiliary building panels are Fire-Lite MS-4 models. The system is fully addressable and is reportedly monitored by the subcontractor.

The smoke detectors within each dwelling unit are hard-wired with battery back-up. The detectors are located inside all bedrooms and outside every sleeping area.

Survey Condition and Analysis

Smoke Detectors/Carbon Monoxide Detectors		
Location	Type	Present
Living Area	Hard-wired;	Y
Bedroom(s)	Hard-wired;	Y

The fire alarm system appeared to be in good overall condition and is reportedly tested on an annual basis. Current inspection tags were observed on the control panels, with the last inspection having occurred November 20, 2024 by National Fire & Safety. Based on age and EUL, replacement of the control panels and as-needed replacement of system is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

The dwelling units do not utilize gas-fired appliances/mechanical equipment (i.e., range, furnace, domestic water heater), are not equipped with carbon monoxide (CO) alarms. Based on the observed conditions, CO alarms do not appear to be required at this time.

5.5.3 Other Systems

Emergency lighting is typically provided by wall-mounted battery-operated fixtures. Emergency means of egress locations are indicated by illuminated exit signs.

Call for aid pull stations are provided within the Type A accessible dwellings.

Survey Condition and Analysis

The observed components appeared to be in good overall condition. Routine maintenance, including regularly scheduled testing and as-needed replacement, is anticipated during the evaluation period.

6.0 INTERIOR ELEMENTS

6.1 Common Areas

Significant common areas are located within the leasing office/clubhouse and consist of the greeting area, corridors, and restrooms.

Common area finishes consist of vinyl plank flooring, painted gypsum board walls, and painted gypsum board ceilings.

Both restrooms are equipped with two to three lavatories mounted on a shared plastic laminate countertop and three to four partitioned water closets and/or urinal. Hi-low water fountains are provided in the corridor directly outside the restrooms.

Lighting consists of recessed light-emitting diode (LED) light fixtures, suspended fluorescent fixtures, pendant fixtures, and vanity lighting.

Interior doors consist of a metal-clad atrium or paneled doors set in a painted wood frame. Hardware includes a locking lever handle, horizontal exit bar, closer, and/or deadbolt.

Survey Condition and Analysis

Common area finishes appeared to be in good condition. The leasing office and related amenity interiors were last renovated in 2022. Based on age and EUL, replacement or refurbishment of finishes is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

6.2 Amenities and Special Features

Significant amenities are limited to the community laundry room, which is accessed from the breezeway of Building I.

The community laundry room contains six commercial washers (including six front-load type) and six commercial electric dryers, which are all coin operated. Finishes consist of vinyl plank flooring, painted gypsum board walls, and painted gypsum board ceilings.

Lighting consists of recessed light-emitting diode (LED) light fixtures, suspended fluorescent fixtures, pendant fixtures, and vanity lighting.

Survey Condition and Analysis

Amenity finishes appeared to be in good condition. The leasing office and related amenity interiors were last renovated in 2022. However, the laundry room was down the day of the site assessment and was utilized as a storage room. Additionally, laundry appliances were not connected to their hookups. Measures to open operation of the laundry room are recommended (i.e., relocate non-laundry equipment, finish appliance installation, refinish any damaged incurred during use as storage, etc.). An opinion of cost for this work is included in Table 1. Based on age and EUL, replacement or refurbishment of finishes is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

The commercial washers and dryers are owned, serviced, and maintained by an outside vendor (CSC Serviceworks).

6.3 Support Areas

Support areas include two management offices, a work/file area, a breakroom, an employee restroom, the maintenance shop, and storage/mechanical closets.

Support area finishes consist of vinyl plank flooring, painted gypsum board walls, and painted gypsum board ceilings. The maintenance shop has an exposed concrete slab floor.

Offices areas equipped with works desks, display furniture, filing drawers, and visitor chairs. The file room includes a plastic laminate counter and miscellaneous shelving.

The breakroom is equipped with a kitchenette. The kitchenette includes upper and base cabinetry with plastic laminate countertop, a stainless steel sink, a mini-refrigerator, and a microwave.

The employee restroom contains a lavatory with a vanity base/plastic-laminate top and a water closet.

The maintenance shop is equipped with a work desk, several storage shelving, filing cabinets, and a utility sink.

Lighting consists of recessed light-emitting diode (LED) light fixtures, suspended fluorescent fixtures, pendant fixtures, and vanity lighting.

Interior doors consist of a metal-clad atrium or paneled doors set in a painted wood frame. Hardware includes a locking lever handle, horizontal exit bar, closer, and/or deadbolt.

Survey Condition and Analysis

Support area finishes appeared to be in good condition. The leasing office and related amenity interiors were last renovated in 2022. Based on age and EUL, replacement or refurbishment of finishes is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

6.4 Commercial Tenant Spaces

Commercial tenant spaces are not present.

6.5 Residential Spaces

6.5.1 Finishes

Floors are typically finished with carpeting in the living rooms and bedrooms, with sheet vinyl in the kitchens and bathrooms. Units turned within the last few years may have vinyl plank flooring in living rooms, kitchens, and bedrooms. Walls and ceilings are typically painted gypsum board.

Interior doors are hollow core wood set in metal frames with a private knob handle.

Survey Condition and Analysis

Carpeting appeared to be in good to fair overall condition. Approximately 44 dwellings were observed with blistering, stained, ripped, and/or pilling carpet. Refer to the unit printout for specific unit locations. Based on age, condition, and EUL, resetting, cleaning, and/or replacement of the aged carpeting as applicable is recommended now and throughout the evaluation period. An opinion of cost for this work is included in Table 1 and Table 2.

Vinyl flooring appeared to be in good overall condition. Over recent years, approximately 10 kitchens and bathrooms and approximately 10 living rooms have been upgraded to plank flooring during turnover. One bathroom had damaged vinyl flooring. Due to the limited scope of work and de minimis condition. Repair may be handled as part of routine maintenance. Refer to the unit printout for specific unit locations. Based on age and EUL, continued replacement is anticipated throughout the evaluation period. An opinion of cost for this work is included in Table 2.

Wall and ceiling finishes appeared to be in good to fair overall condition. Minor deficiencies were observed, including, but not limited to, 20 locations of patched, peeling, and/or stained ceilings above select kitchens, bathrooms, and hallways due to former plumbing or roof leaks; and five units had light suspect microbial growth on walls surrounding the bathtub. Refer to the unit printout for specific unit locations. Based on age, condition, and EUL, addressal of the deficiencies is recommended. An opinion of cost for this work is included in Table 1.

6.5.2 Cabinetry and Fixtures

The kitchens are equipped with double basin stainless steel sinks, compressed fiberboard cabinet boxes with laminated faces and doors, and plastic laminate countertops. Typical bathroom fixtures include a floor-mounted, tank-type commode, a lavatory sink with a vanity base, and a shower/bathtub arrangement with a one-piece fiberglass surround.

Survey Condition and Analysis

Cabinets and vanities appeared to be in good to fair overall condition. Approximately 18 units had casework with missing/damaged drawers and doors. Refer to the unit printout for specific unit locations. Based on age, condition, and EUL, repair to the areas of damaged casework is recommended now, and replacement is anticipated during the evaluation period. An opinion of cost for this work is included in Table 1 and Table 2.

Countertops appeared to be in good overall condition. Approximately three units were observed with worn, scratched, and/or areas of charred finish. Refer to the unit printout for specific unit locations. Reglazing of the deficient counters is recommended. An opinion of cost for this work is included in Table 1. Based age and EUL, replacement of the countertops is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

Bathroom fixtures appeared to be in good overall condition. The toilets appeared recently replaced and all fixtures are expected to last beyond the term. Routine maintenance, including as-needed replacement of accessories, is anticipated during the evaluation period.

6.5.3 Appliances

Kitchens are provided with one-piece electric range-ovens with circulating hoods, refrigerators, dishwashers, and garbage disposals. Appliances typically have a black finish.

Hook-ups for washers and dryers are provided, however, the tenant must provide their own laundry equipment.

Survey Condition and Analysis

The appliances appeared to be in good overall condition. Based on age and EUL, phased replacement is anticipated during the evaluation period. An opinion of cost for this work is included in Table 2.

7.0 ACCESSIBILITY

7.1 Americans with Disabilities Act (ADA)

In July 1990, the Americans with Disabilities Act (ADA) was signed into law, extending civil rights protection for persons with disabilities. Generally, Title III of the ADA prohibits discrimination by entities to access and use of "areas of public accommodations" and "commercial facilities" on the basis of disability. Regardless of their age, these areas and facilities must be maintained and operated to comply with the ADA.

Buildings completed and occupied after January 26, 1992 are required to fully comply with ADA. Existing facilities constructed prior to this date are held to the lesser standard of complying with the extent allowed by structural feasibility and the financial resources available, or a reasonable accommodation must be made.

At a multi-family residential development, areas that are required to comply with ADA standards typically include the leasing office and commercial spaces, if applicable (i.e., "areas of public accommodation"). Design elements indicative of accessibility compliance include but are not limited to: a van accessible parking space with adjacent access aisle near the leasing office and commercial spaces (if applicable), an accessible route of travel from these parking spaces to the area of public accommodation, and adequate access throughout the interior, including visitor restroom facilities.

The subject property appeared to comply with the provisions of the ADA except as noted below:

- A van accessible parking was provided within proximity of the leasing office; however, it was designed with a stall width of 96" and the access aisle was not at least 96". A compliant van stall either has a 132" width stall and a 60" width aisle or 96" width stall and aisle. Additionally, the aisle did not align directly with the nearby curb ramp. Therefore, increasing the aisle width to align the aisle with the ramp would both permit direct access to the aisle and provide the minimum required width.

An opinion of costs for these line items have been included in Table 1.

Future renovations or alteration of the subject property may require additional proportional compliance with ADA requirements. The local governing authority should make this determination when permit acquisition for renovation is made.

7.2 Federal Fair Housing Act (FFHA)

The Federal Fair Housing Act of 1988 (FFHA) requirements cover buildings consisting of four or more dwelling units with first occupancy after March 13, 1991. If such buildings have one or more elevators, all dwelling units are covered by the Act; otherwise, in buildings without elevators, only ground floor dwelling units are covered by the Act. Townhouses are exempted from the Act. The Department of Housing and Urban Development (HUD) has published Final Design Guidelines (see Federal Register, 24 CFR, Vol. 56, No. 44, March 6, 1991, page 9497). The Act requires design and construction to meet the seven (7) design requirements listed below.

1. An accessible building entrance on an accessible route that can be used by a person using a wheelchair must be provided.
2. Public and common use areas of the dwellings must be readily accessible to and usable by persons with disabilities.

3. Doors designed to allow passage into and within all premises, usable to a person in a wheelchair, must be provided.
4. An accessible route must be provided into and through the covered dwelling unit to allow passage by a person in a wheelchair.
5. All light switches, electrical outlets, thermostats and other environmental controls requiring access must be provided at accessible locations.
6. Bathroom walls must provide reinforcements to allow for later installation of grab bars and shower seats.
7. Kitchens and bathrooms must be designed to allow an individual in a wheelchair to maneuver about the space.

The apartment buildings, site amenities, and/or "covered" dwelling units/interiors do not meet the requirements as follows:

- Nine access aisles serving accessible parking stalls amongst the residential parking areas had widths less than 60". Marking the aisles and nearby stalls to provide the minimum required widths is advised. Additionally, an accessible parking stall was not provided within proximity of the mail center near Buildings A-C. The vicinity already has a curb ramp and a white-striped aisle. Therefore, installation of appropriate signage and blue symbols/aisles markings to match the remaining accessible markings throughout the site is advised.
- Two accessible parking stalls amongst the residential parking areas did not have an adjacent access aisle nor curb cut ramp connection to the accessible route. Installation of 60" access aisles with curb ramps is advised.
- Two accessible parking stalls amongst the residential parking areas did not have signage. Installation of appropriate signage is advised.
- The mailboxes were positioned with an unobstructed side approach clear floor space and had operable parts upwards of 66" AFF, respectively. The provided clear floor space has an accessible reach range defined as between 9" and 54" AFF. Lowering all ground floor "covered units" to within the range is advised.
- The kitchens of ground floor 2 BR/2 BA floorplan dwellings had kitchens designed as galleys, which are required to be at least all opposing walls, appliances, cabinetry, etc. The galleys were observed to be 38" to 39" between the refrigerator and dishwasher. The remaining galley widths are at least 40" as required. Therefore, installation of counter depth refrigerator appliances within each ground floor "covered" dwelling is advised.
- The hallway bathroom of ground floor 3 BR/2 BA floorplan dwellings did not have a centered, side approach 30" x 48" clear floor space at the lavatory due to the proximity of the water closet. Similarly, the master bathroom did not have a centered, side approach 30" x 48" clear floor space since the lavatory was only 15" from the side wall of the restroom. In such configurations, sinks with removable base cabinetry and finished flooring for an adaptable centered, forward approach would suffice. However, the presence of removable bases and finished flooring was not apparent, reported by property management, nor indicated on the reviewed architectural drawings. Therefore,

installation of removable base cabinetry within each ground floor "covered" 3 BR/2 BA dwelling is advised.

- The range-ovens of the Type A/UFAS Accessible dwellings were positioned adjoining the rear wall, thereby not provided a centered, side approach 30" x 48" clear floor space. Modification of the kitchens in these units to provide the appropriate floor spaces and clearances is advised. This work must maintain compliance with Type A/UFAS kitchen design at other appliances, workspaces, etc.

An opinion of costs for these line items have been included in Table 1.

7.3 American National Standards Institute (ANSI)

The International Code Council (ICC) issues a *Standard for Accessible and Usable Buildings and Facilities (ICC A117.1)*, which includes versions that have been recognized as "Safe Harbors" per the HUD MAP Guide. The subject property was constructed after March 13, 1991, and was reportedly designed and constructed per ANSI A117.1 1998. There were no discrepancies with the FFHA related to ANSI as a Safe Harbor.

7.4 Rehabilitation Act of 1973 (Section 504/UFAS)

Based upon provided information/documentation, the subject property is not required to comply with the provisions for existing buildings under the Rehabilitation Act of 1973 (Section 504/UFAS) from a Federal standpoint. Please refer to Section 7.5 for UFAS compliance due to State requirements.

7.5 State/Local/Tax Credit

Based on review of the provided set of construction drawings, the subject property was designed according to Internal Building Code (IBC) 2003 and ANSI A116.1 1998. According to a review of the IBC, all ground floor dwelling units must be designed as Type B Units (synonymous with a Fair Housing covered unit) and at least two percent of the ground floor dwellings must be Type A, therefore requiring at least four Type A units. Based on the observed conditions, all ground floor dwellings are designed as at least Type B, with ten designed as Type A.

According to the SC Housing Development Design Criteria, the following accessibility requirements must be met:

- At least 5% of the total units, in this case nine, must be equipped for the mobility disabled as designed by UFAS and at least one bathroom must have an ADA/ANSI A117.1 compliant 36" x 60" minimum usable floor space roll-in shower.
- At least 2% of the total units, in this case four, must be equipped with hearing and sight impairment features in compliance with ANSI A117.1 Section 1006.
- The same units cannot be used to satisfy both the 5% and 2% requirements.
- Signage for designated common areas and all units must be in Braille and Meet ANSI A117.1 requirements.
- All mobility and hearing-sight impaired units must have a wireless or hard-wired call for aid devices that is connected to the central fire alarm system.

The subject property does not meet the above requirements as follows:

- The subject property was designed with ten Type A units, and their design appear to comply with UFAS mobility requirements. However, the Type A units do not provide at least one bathroom equipped with an ADA/ANSI A117.1 compliant 36" x 60" minimum usable floor space roll-in shower. Modification of the Type A bathrooms to meet this requirement is advised.
- Hearing and sight impairment smoke detectors were observed within the Type A units; however, they did not meet the full requirements of ANSI A117.1 Section 1006. Additionally, even if the requirements were met, the same units cannot be used to satisfy both the 5% and 2% requirements. Therefore, modification of four non-Type A units for full compliance is advised. Call-for-aid devices are also required.
- Accessible signage is provided throughout the common area; however, dwelling unit signage was not accessible. Installation of accessible signage at each unit entry door is advised.

7.6 Corrective Action Plan

Based upon the observed conditions, the subject property appeared to meet the applicable accessibility requirements except as noted above (Immediate Repairs). As such, Partner recommends property ownership/management prepare a Corrective Action Plan in order to adequately address the identified accessibility barrier issues. Additional analysis may be required by an architect/engineer in order to determine a proper course of action/correction, and/or to prepare an appropriate scope of work or related exhibits, drawings, diagrams or specifications.

8.0 SUSPECT WATER INTRUSION AND MICROBIAL GROWTH

As part of performing this PCA, visual observations for overt signs of suspect mold growth were also performed. These observations were not performed to discover all affected areas, nor were areas of the subject property observed specifically for the purpose of identifying areas of suspect mold growth. The subject property areas viewed were limited to those necessary to perform the primary scope of this PCA.

Survey Condition and Analysis

As mentioned in Section 6.5.1 several minor water intrusion deficiencies were observed. Recommended repairs are described in Section 6.5.1. Due to the minor severity of each occurrence, water intrusion and suspect microbial growth does not appear to be a significant concern at the subject property.

9.0 NATURAL HAZARD INFORMATION

Partner reviewed readily available materials to obtain the following information. Determination of site-specific conditions is not within the scope of this report and may require additional investigation.

9.1 Flood Zone

According to Flood Insurance Rate Map, Community Panel Number 43035C0408E and 43035C0409E, dated July 18, 2017, the subject property appears to be located in:

Zone X (unshaded); defined as minimal risk areas outside the 1-percent and 0.2-percent-annual-chance floodplains.

9.2 Seismic Zone

The United States is divided into six Seismic Zones (0, 1, 2A, 2B, 3, and 4) per the Uniform Building Code (UBC) based on the level of risk and magnitude of the earthquakes that might affect a region. Zone 0 represents little or no risk, while Zone 4 represents the highest risk. According to the seismic zone map, published in the Uniform Building Code 1997, Volume 2, Table 16.2, the subject property appears to be located in Seismic Zone 2A.

The subject property is exempt from ASCE 41-13 since the BSE-1E S_{xs} and S_{x1} scores are 0.179g and 0.067g and do not exceed 0.330g and 0.133g, respectively. Therefore, no further recommendations are made with regards to seismic risk.

9.3 Wind Zone

Partner performed a review of the Wind Zone Map, published by the Federal Emergency Management Agency. According to the map, the subject property appears to be located in Wind Zone III, an area with design winds speeds up to 200 miles per hour. The subject property appears to be located in a hurricane-susceptible zone.

9.4 Environmental Issues

9.4.1 Asbestos Containing Materials (ACM)

Partner was not engaged to perform a Pre-Renovation and/or Baseline Asbestos Survey as part of the site assessment activities. Nonetheless, appropriate sampling is recommended prior to commencing any significant renovation activities. Additionally, at a minimum, if not already in place, an ACM O&M plan should be enacted in order to properly manage potential ACMs.

Note, opinion of costs related to recommended repairs currently assume that none of the impacted surfaces contain asbestos containing material (ACMs). The presence of ACMs will likely increase the cost of any renovation/repair work due to potential remediation costs. Without further investigation or a bid walk by a licensed remediation contractor, Partner has made assumptions which may or may not reflect actual site conditions.

9.4.2 Lead Based Paint (LBP)

Based on the date of construction (post-1978), it is unlikely that lead-based paint (LBP) is present at the subject property. Therefore, no further action is required with regards to lead-based paint (LBP).

9.4.3 Radon

Radon is a colorless, odorless, naturally occurring, radioactive, inert, gaseous element formed by radioactive decay of radium (Ra) atoms. The US EPA has prepared a map to assist National, State, and local organizations to target their resources and to implement radon-resistant building codes. The map divides the country into three Radon Zones; Zone 1 being those areas with the average predicted indoor radon concentration in residential dwellings exceeding the US EPA Action Limit of 4.0 PicoCuries per Liter (pCi/L). It is important to note the EPA has found homes with elevated levels of radon in all three zones, and the US EPA recommends site-specific testing in order to determine radon levels at a specific location. However, the map does give a valuable indication of the propensity of radon gas accumulation in structures.

Review of the US EPA Map of Radon Zones places the subject property in Zone 3, where average predicted radon levels are less than 2.0 pCi/L. Partner notes that LIHTC applications are encouraged, but not required to test for radon. Therefore, no further recommendations are made with regards to radon testing at the subject property at this time.

9.4.4 Pest Control

Several dwelling units were observed with roach and/or fly infestations. Additionally, bed bug infestations were not known by property management; however discussions with tenant indicate they may be present. Based on the occurrence of pest issues among the dwellings, a site wide inspection and service by a professional pest control service is recommended. An opinion of cost for this work is included in Table 1.

10.0 ENERGY EFFICIENCY/GREEN IMPROVEMENTS

Climate Zone

According to the site contacts, property management has some initiated site improvement programs related to energy efficiency and sustainability including:

- Low flow toilets, sink aerators, and shower heads were installed in each unit.

Green Improvements for Increased Energy Efficiency & Sustainability

According to the site contacts, property management has not initiated site improvement programs related to energy efficiency and sustainability but intends to address areas for improvement as part of the proposed planned capital improvements.

Future replacements of capital items and major moveable equipment associated with energy consumption should incorporate products with higher energy efficiency ratings than those currently in place at the subject property. This would include, but not be limited to: installation of energy efficient exterior windows; increased R-value for insulation; air conditioning equipment with higher SEER/EER ratings; computer controlled environmental systems; higher energy efficiency ratings on water heater equipment; WaterSense compliant plumbing faucets and fixtures; and automated sensors for lighting.

Additional considerations were made with regard to identifying opportunities to improve energy efficiency, maximize water efficiency, use re-used and recycled materials where practical, safeguard the indoor environmental quality of the subject property, and remove/re-use replaced materials and construction debris appropriately. The benefits (financial or otherwise) of green alternatives may have resulted in additional Immediate and/or Short-Term Repair recommendations, as stated herein.

Energy Audit

Partner was not engaged to perform a comprehensive energy assessment and/or was not provided with a relevant report to evaluate a suite of potential measures to achieve the subject property's performance target and improve the health, safety, comfort and security of its residents and staff has been conducted.

Utility Analysis

Partner was not engaged to perform a utility analysis assessment and/or was not provided with a relevant report.

11.0 OUT OF SCOPE CONSIDERATIONS

These following items are categorically excluded from the scope of work.

- Utilities: Operating conditions of any systems or accessing utility access holes or utility pits.
- Structural Frame and Building Envelope: Entering of crawl or confined space areas (however, the field observer will observe conditions to the extent easily visible from the point of access to the crawl or confined space areas), determination of previous substructure flooding or water penetration unless easily visible or if such information is provided.
- Roofs: Walking on pitched roofs, or any roof areas that appear to be unsafe, or roofs with no built-in access, or determining any roofing design criteria.
- Plumbing: Determining adequate pressure and flow rate, fixture unit values and counts, verifying pipe sizes, or verifying the point of discharge for underground systems.
- Heating: Observation of flue connections, interiors of chimneys, flues or boiler stacks, or tenant owned or maintained equipment. Entering of plenum or confined space areas.
- Air conditioning & Ventilation: Process-related equipment or condition of tenant owned or maintained equipment. Entering of plenum or confined space areas. Testing or measurements of equipment or air flow.
- Electrical: Removing of electrical panel and device covers, except if removed by building staff, EMF issues, electrical testing, or operating any electrical devices. Opining on process related equipment or tenant-owned equipment.
- Vertical Transportation: Examining of cables, sheaves, controllers, motors, inspection tags, or entering elevator/escalator pits or shafts.
- Life Safety/Fire Protection: Determining NFPA hazard classifications, classifying, or testing fire rating of assemblies. Determination of the necessity for or the presence of fire areas, fire walls, fire barriers, paths of travel, construction groups or types, or use classifications.
- Interior Elements: Operating appliances or fixtures, determining or reporting STC (Sound Transmission Class) ratings, and flammability issues/regulations.

Activity Exclusions- These activities listed below generally are excluded from or otherwise represent limitations to the scope of a PCA prepared in accordance with this guide (ASTM 2018-15). These should not be construed as all-inclusive or imply that any exclusion not specifically identified is a PCA requirement under this guide.

- Providing opinions of costs that are either individually or in the aggregate less than a threshold amount of \$3,000 for like items unless specifically requested by the addressee.
- Identifying capital improvements, enhancements, or upgrades to building components, systems, or finishes;
- Removing, relocating, or repositioning of materials, ceiling, wall, or equipment panels, furniture, storage containers, personal effects, debris material or finishes; conducting exploratory probing or testing; dismantling or operating of equipment or appliances; or disturbing personal items or property, which obstruct access or visibility;
- Determining adequate pressure and flow rate, fixture-unit values and counts, verifying pipe sizes, or verifying the point of discharge for underground drains;

- Determining NFPA hazard classifications, identifying, classifying, or testing fire rating of assemblies. Determination of the necessity for or the presence of fire areas, fire walls, fire barriers, accessible routes, construction groups or types, or use classifications;
- Preparing engineering calculations to determine any systems, components or equipment's adequacy or compliance with any specific or commonly accepted design requirements or building codes, or preparing designs or specifications to remedy any physical deficiencies;
- Identification of code or OSHA compliance beyond what has been reported through communication with local regulatory offices.
- Taking measurements or quantities to establish or confirm any information provided by the owner or user;
- Reporting on the presence or absence of pests or insects;
- Reporting on the condition of subterranean or concealed conditions as well as items or systems that are not permanently installed or are tenant-owned and maintained;
- Entering or accessing any area deemed to potentially pose a threat of dangerous or adverse conditions with respect to the field observer's health or safety;
- Performing any procedure, which may damage or impair the physical integrity of the property, any system, or component;
- Providing an opinion on the operation of any system or component that is shut down;
- Evaluating the Sound Transmission Class or acoustical or insulating characteristics of systems or components;
- Providing an opinion on matters regarding security and protection of occupants or users from unauthorized access;
- Evaluating the flammability of materials and related regulations;
- Providing an opinion on matters regarding security of the subject property and protection of its occupants or users from unauthorized access;
- Operating or witnessing the operation of lighting or any other system controlled by a timer, operated by the maintenance staff, or operated by service companies;
- Providing an environmental assessment or opinion on the presence of any environmental issues such as potable water quality, asbestos, hazardous wastes, toxic materials, the location and presence of designated wetlands, IAQ, etc. unless specifically defined within the agreed scope;
- Evaluating systems or components that require specialized knowledge or equipment;
- Entering of plenum or confined space areas.

12.0 LIMITATIONS

This assessment is based upon the guidelines set forth by the ASTM Standard current to the issuance of this report and subject to the limitations stated therein. Our review of the subject property consisted of a visual assessment of the site, the structure(s) and the accessible interior spaces. Any technical analyses made are based on the appearance of the improvements at the time of this assessment and the evaluator's judgment of the physical condition of the subject property components, their ages and their EUL. Consequently, this report represents the condition of the subject property at the time of observation. Acceptance and use of this report infer acknowledgment that the condition of the property may have changed subsequent to site observations and/or that additional information may have been discovered, and that Partner, its officers, employees, vendors, successors or assigns, are not liable for changes in the condition of the property, failures in property components or systems, and damages that may occur as a result of the changes or failures.

Information regarding the subject property is obtained from a site assessment, local government agency records review, interviews and client-, tenant- or property owner-provided documents. Material sampling, invasive or destructive investigations, equipment or system testing was not performed. The observations and related comments within this report are limited in nature and should not be inferred as a full and comprehensive survey of the building components and systems.

Information regarding operations, conditions, and test data provided by the Addressee, property owner, or their respective representatives has been assumed to be factual and complete. Information obtained from readily available sources, including internet research and interview of municipal officials or representatives is assumed to be factual and complete. A warranty is not expressed or implied, except that the services rendered have been performed in accordance with generally accepted practices applicable at the time and location of the study.

The actual performance of systems and components may vary from a reasonably expected standard and will be affected by circumstances that occur after the date of the evaluation. This assessment, analyses and opinions expressed within this report are not representations regarding either the design integrity or the structural soundness of the project.

The report does not identify minor, inexpensive repairs or maintenance items, which should be part of the subject property owner's current operating budget so long as these items appear to be addressed on a regular basis. The report does identify infrequently occurring maintenance items of significant cost, such as exterior painting, roofing, deferred maintenance and repairs and replacements that normally involve major expense or outside contracting.

The assessment of the roof, façade and substructure contained herein cannot specifically state that these items are free of leaks and/or water intrusion and should not be interpreted as such. Comments made with respect to the condition of the systems are limited to visual observation and information provided by the designated site contacts and/or on-site representatives and their contractors/vendors. The evaluation of these systems did not include any sampling and/or testing. A more extensive evaluation may be required if a comprehensive report on the condition of these systems is required.

Performance of a comprehensive building, fire or zoning code review is outside of the scope of work for this report. Information provided within this report is based on readily available information or interview of municipal officials.

This report presents an evaluation of the accessibility of the subject property as specified in the engagement agreement. This report does not present an audit of all components specified in federal, state or local accessibility regulations. Instead, this review observed general design components such as routes of travel, door hardware, plumbing amenities, elevator controls and signals, basic emergency alarm components and signage. This report is not a comprehensive Americans with Disabilities Act review.

Acceptance and use of this report infer acknowledgment that the condition of the property may have changed and that Partner, its officers, employees, vendors, successors or assigns, are not liable for changes in the condition of the property, failures in property components or systems, and damages that may occur as a result of the changes or failures.

FIGURES

- 1. SITE LOCATION MAP**
- 2. SITE PLAN**

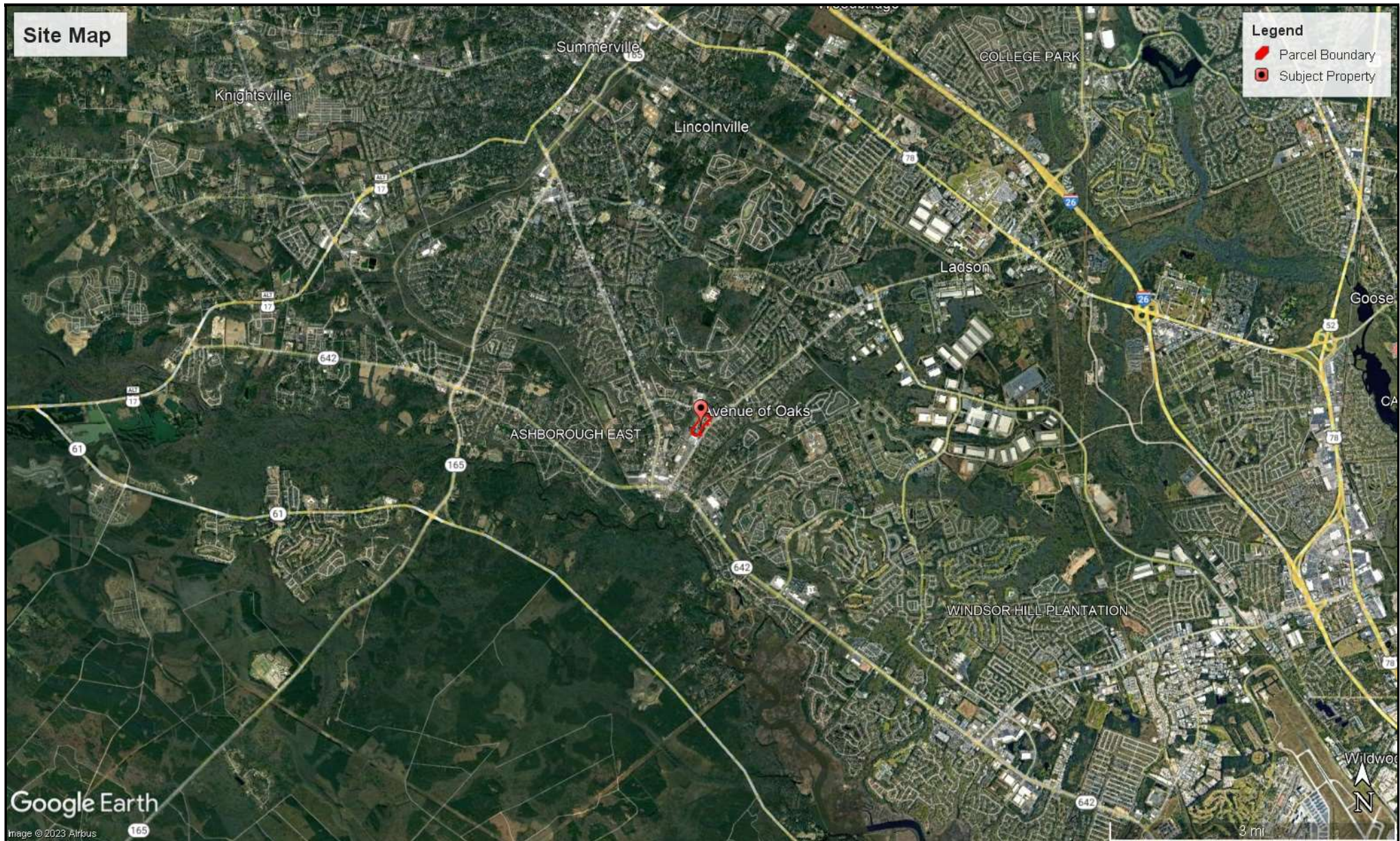


FIGURE 1: SITE LOCATION MAP
Project No. 25-496276.3

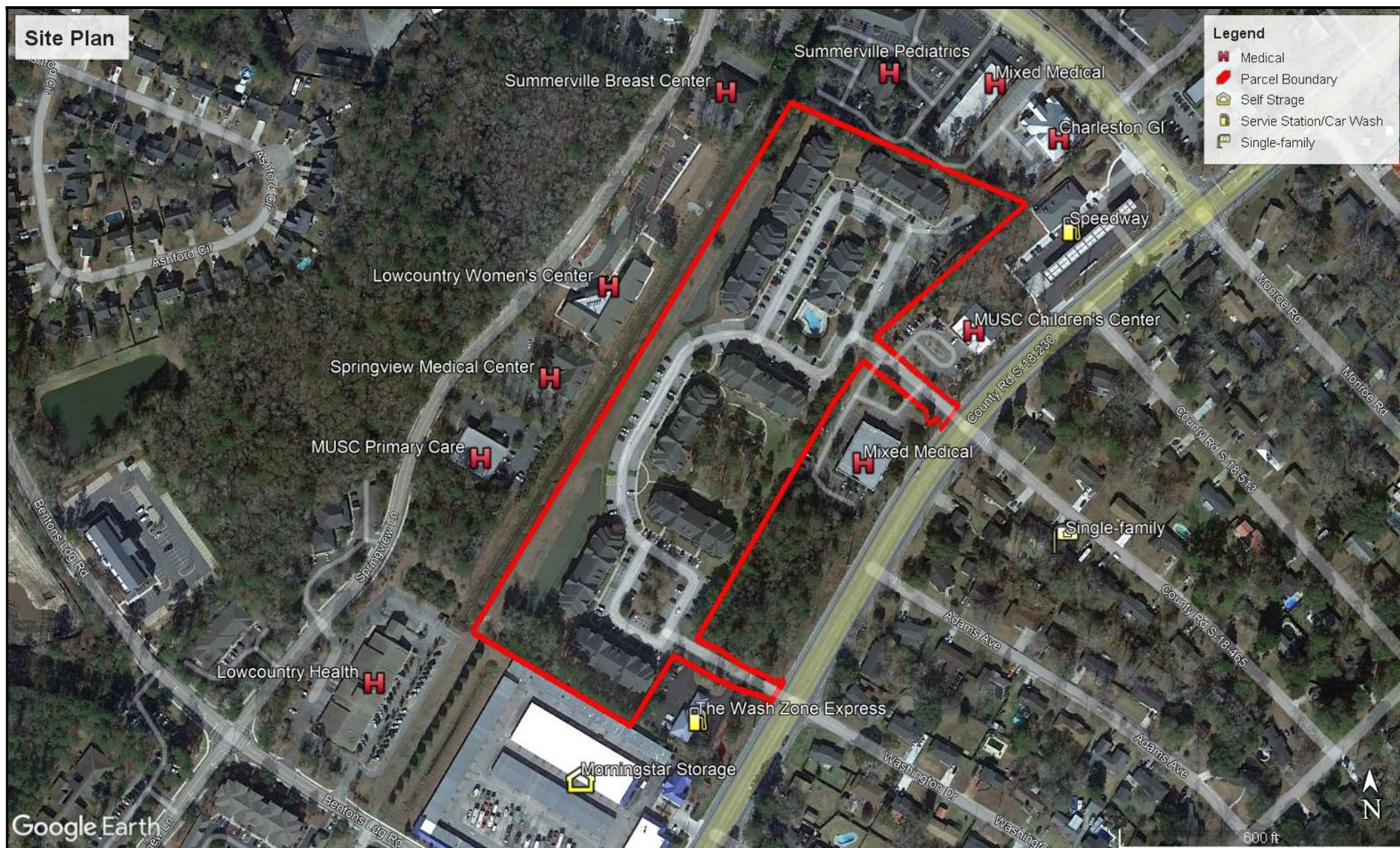


FIGURE 2: SITE PLAN
Project No. 25-496276.3

APPENDIX A: SITE PHOTOGRAPHS



1. Monument sign



2. Building Type I front elevation



3. Building Type I rear elevation



4. Building Type I side elevation



5. Building Type I side elevation



6. Building Type II front elevation



7. Building Type II rear elevation



8. Building Type II side elevation



9. Building Type II side elevation



10. Building Type III front elevation



11. Building Type III rear elevation



12. Building Type III side elevation



13. Building Type III side elevation



14. Retention pond; note tilted standpipe



15. Retention pond; note quantity of rubbish



16. Entry drive



17. Asphalt pavement near buildings A-C



18. Asphalt pavement near Building D; note map cracking



19. Asphalt pavement near Buildings E-H



20. Concrete pavement in the vicinity the compactor



21. Wood plank fencing; note condition



22. Wood plank fencing; note condition



23. Chain link fencing



24. Trash compactor.



25. Trash compactor. Note: Damaged compactor gate.



26. Reattach compactor stair railing



27. Walkway and parking lighting



28. Breezeway lighting; note condition



29. Breezeway lighting; note condition



30. Playground; note condition



31. Playground; note condition and missing swings



32. Gazebo



33. Gazebo finishes; note condition



34. Gazebo finishes; note condition



35. Gazebo soffit; note condition



36. Community pool



37. Pool pumps and filter



38. Mail center near Buildings A-C



39. Detail view of mailboxes; note boxes outside of an accessible reach range



40. Mail center within the breezeway of Building H



41. Detail view of mailboxes; note boxes outside of an accessible reach range



42. Electric transformer



43. Domestic water valves/meters



44. Sanitary sewer cleanout missing a cap



45. Roof trusses and OSB decking



46. Blown-in attic insulation



47. General view of façade finishes and roof shingles



48. Siding with graffiti/mismatched paint finish



49. Siding with graffiti/mismatched paint finish



50. Siding with graffiti/mismatched paint finish



51. Deteriorated sealants and fasteners



52. Single hung vinyl windows



53. Dwelling entry door



54. Maintenance shop doors



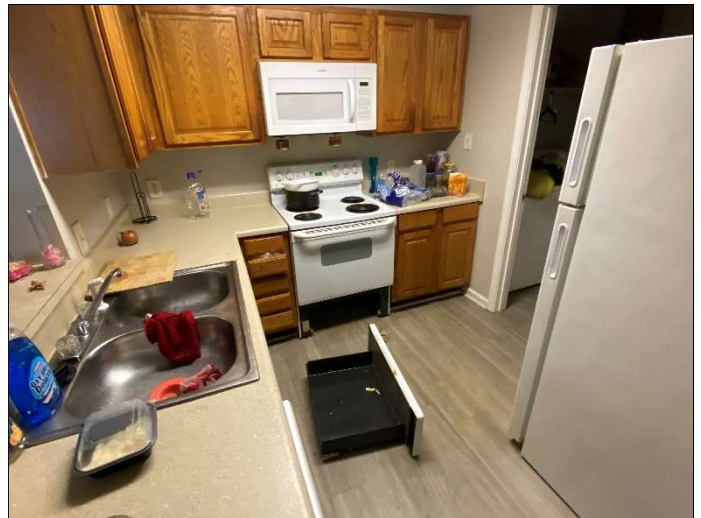
55. Stained ceiling in unit C307 due to active/former roof leak



56. Stained ceiling and wall in unit H201 due to active/former roof leak



57. Stained ceiling in unit H102 due to active/former plumbing leak



58. Water standing in floor from leak in B201.



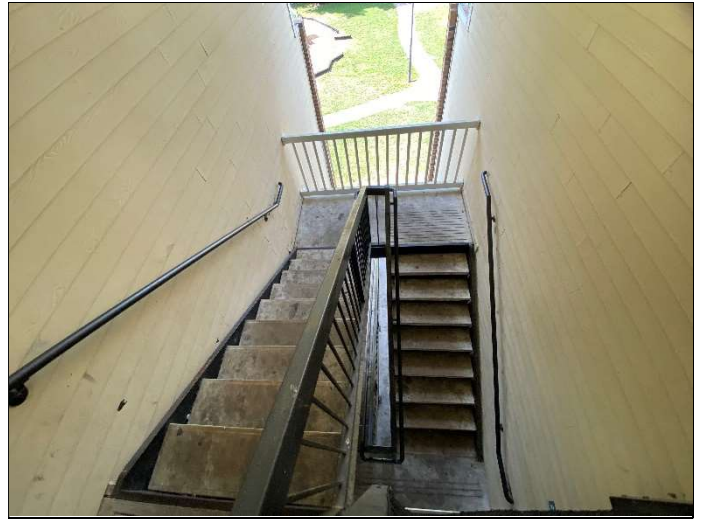
59. Water standing in floor from leak in C308.



60. Gutters clogged with debris



61. Building G downspout disconnected from discharge



62. Breezeway stair system



63. Breezeway stairs intermediary landing. Note missing guardrails Building 300



64. Corroded riser at a first flight of stairs



65. Supports at the underside of first flight of stairs



66. Clubhouse electric water heater



67. Dwelling electric water heater



68. Heat pumps; note varied age



69. Air handler and electric furnace



70. Thermostat



71. Dryer vents; note condition



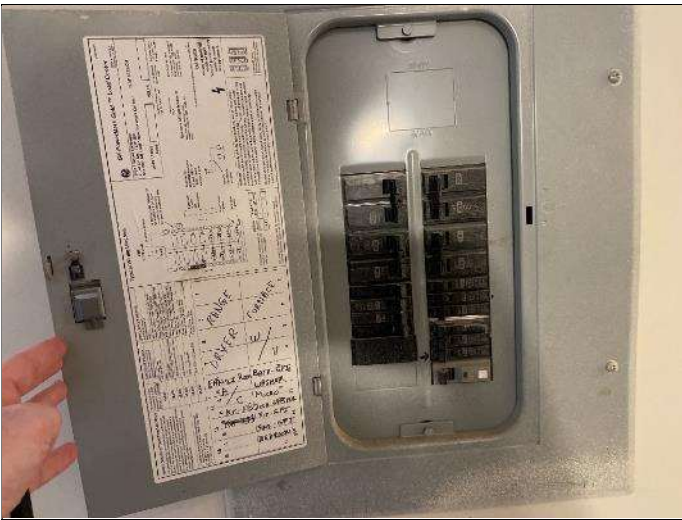
72. Dust accumulation indicative of dirty filters/ducts



73. Electric distribution panels



74. Dwelling service breaker



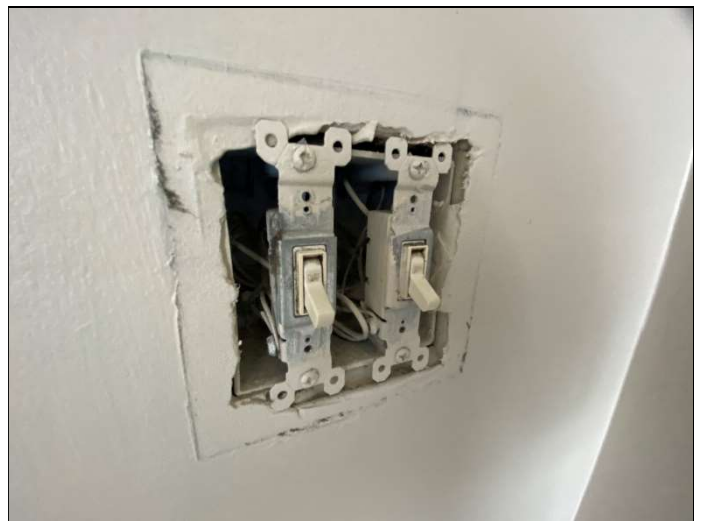
75. Dwelling breaker panel



76. GFCI receptacle protection kitchen outlets



77. GFCI receptacle protection bathroom outlets



78. Copper branch wiring



79. No GFCI protection at a laundry room washer outlet



80. Wet-pipe fire sprinkler riser



81. Fire extinguisher



82. Central fire alarm panel in maintenance shop



83. Hardwired smoke detector



84. Central fire alarm panel in breezeway



85. Men's restroom



86. Women's restroom



87. Clubhouse greeting area



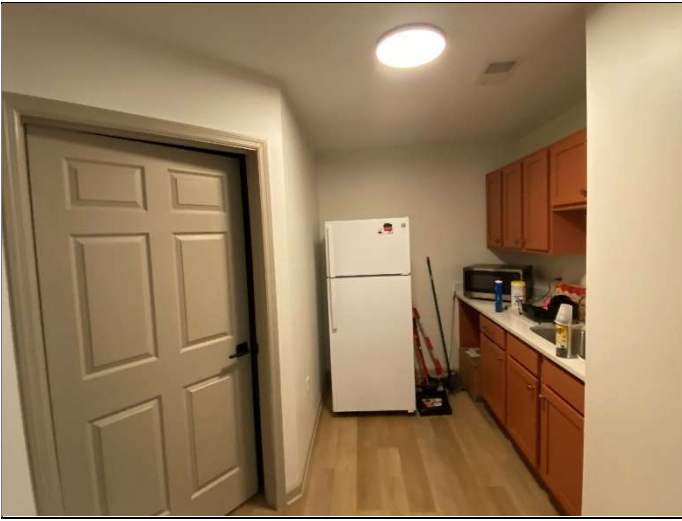
88. Laundry room; currently down and used as storage



89. Leasing office



90. Management office



91. Employee breakroom and restroom



92. Maintenance shop



93. 2 BR/2 BA living room



94. 2 BR/2 BA bedroom



95. 2 BR/2 BA kitchen



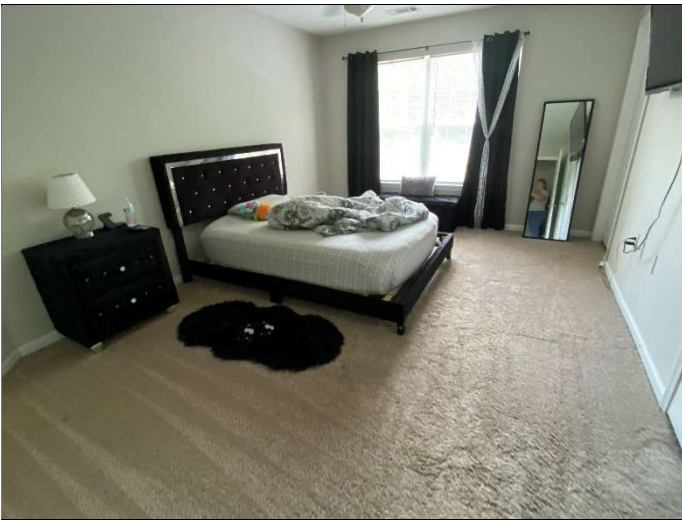
96. 2 BR/2 BA master bathroom



97. 2 BR/2 BA hallway bathroom



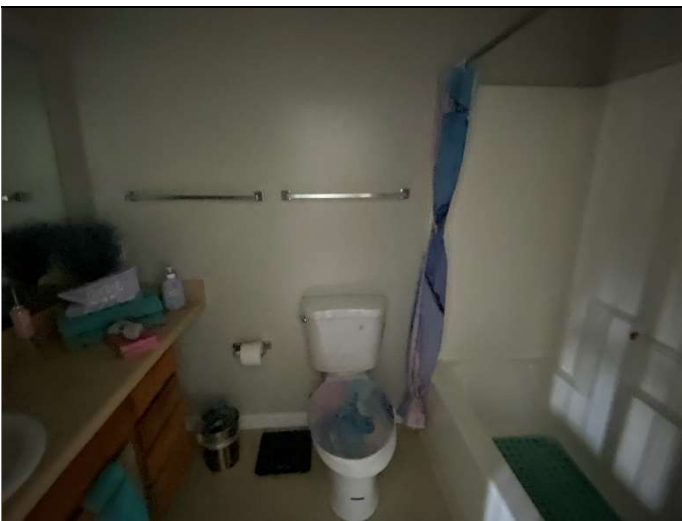
98. 3 BR/2 BA living room



99. 3 BR/2 BA bedroom



100. 3 BR/2 BA kitchen



101. 3 BR/2 BA master bathroom



102. 3 BR/2 BA hallway bathroom



103. Kitchen with VCT flooring



104. Bathroom with VCT flooring. Unit 307 leaking.



105. Carpet stains



106. Ripped carpet



107. Blistering carpet



108. Roof leak in Unit 304



109. Aged water staining and growth on a ceiling. Unit 201.



110. Deficient kitchen casework



111. Deficient vanity casework



112. Deficient countertop



113. Office van accessible stall with noncompliant aisle width and ramp access



114. Several accessible stall access aisles less than 60" in width



115. Accessible stall without an access aisle, ramp, nor signage



116. Accessible stall not provided near the Building A-C mail center



117. 2 BR kitchen galleys less than 40" between fridge and dishwasher



118. 2 BR kitchen galleys less than 40" between fridge and dishwasher



119. 3 BR master bathroom without a lavatory clear floor space



120. 3 BR master bathroom without a lavatory clear floor space



121. 3 BR hallway bathroom without a lavatory clear floor space



122. 3 BR hallway bathroom without a lavatory clear floor space



123. Type A/UFAS accessible dwelling kitchen



124. Type A/UFAS accessible dwelling kitchen without a range-oven clear floor space



125. Type A/UFAS accessible dwelling bathroom; note call station



126. Type A/UFAS accessible dwelling bathroom; note call station

APPENDIX B: SUPPORTING DOCUMENTATION

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE SURVEY

Project:	Palms on Ashley River	Project Number:	25-496276.3
City/St:	Summerville, South Carolina	Date of Survey:	May 19, 2025

The following characteristics of the subject property were evaluated. Comments are based on visual observations and measurements (when applicable).

1.0	History	Yes	No	N/A	Comments
1.1	An ADA compliance survey has previously been completed for this property.		X		No reported.
1.2	An approved Barrier Removal Plan exists for this property.		X		No reported.
1.3	ADA compliance improvements have been made to this property.		X		No reported.
2.0	Parking	Yes	No	N/A	Comments
2.1	Does the required number of standard ADA-designated spaces appear to be provided?	X			
2.2	Does the required number of van-accessible designated spaces appear to be provided?	X			
2.3	Are accessible spaces part of the shortest accessible route to an accessible building entrance?	X			
2.4	Is a sign with the International Symbol of Accessibility at the head of each space?	X			
2.5	Does each accessible space have an adjacent access aisle with an appropriate transition/curb cut?		X		Van access aisle near the office was less than 96" and did not connect directly to nearby curb ramp.
2.6	Do parking spaces and access aisles appear to be relatively level and without obstruction?	X			
3.0	Exterior Accessible Route	Yes	No	N/A	Comments
3.1	Is an accessible route present from public transportation stops and municipal sidewalks on the property?	X			
3.2	Are curb cut ramps present at transitions through curbs on an accessible route?	X			
3.3	Do the curb cut ramps appear to have the proper slope for all components?	X			
3.4	Do ramps on an accessible route appear to have a compliant slope?			X	
3.5	Do ramps on an accessible route appear to have a compliant length and width?			X	
3.6	Do ramps on an accessible route appear to have compliant end and intermediate landings?			X	
3.7	Do ramps on an accessible route appear to have compliant handrails?			X	
4.0	Building Entrances	Yes	No	N/A	Comments
4.1	Do a sufficient number of accessible entrances appear to be provided?	X			
4.2	If the main entrance is not accessible, is an alternate accessible entrance provided?			X	
4.3	Is signage provided indicating the location of alternate accessible entrances?			X	
4.4	Do doors at accessible entrances appear to have compliant clear floor area on each side?	X			
4.5	Do doors at accessible entrances appear to have compliant hardware?	X			
4.6	Do doors at accessible entrances appear to have a compliant clear opening width?	X			
4.7	Do pairs of accessible entrance doors in series appear to have the minimum clear space between them?			X	
4.8	Do thresholds at accessible entrances appear to have a compliant height?	X			
5.0	Interior Accessible Routes and Amenities	Yes	No	N/A	Comments
5.1	Does an accessible route appear to connect with all public areas inside the building?	X			

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE SURVEY

Project:	Palms on Ashley River	Project Number:	25-496276.3
City/St:	Summerville, South Carolina	Date of Survey:	May 19, 2025

The following characteristics of the subject property were evaluated. Comments are based on visual observations and measurements (when applicable).

5.2	Do accessible routes appear free of obstructions and/or protruding objects?	X			
5.3	Do ramps on accessible routes appear to have a compliant slope?			X	
5.4	Do ramps on accessible routes appear to have a compliant length and width?			X	
5.5	Do ramps on accessible routes appear to have compliant end and intermediate landings?			X	
5.6	Do ramps on accessible routes appear to have compliant handrails?			X	
5.7	Are adjoining public areas and areas of egress identified with accessible signage?	X			
5.8	Do public transaction areas have an accessible, lowered counter section?			X	
5.9	Do public telephones appear mounted with an accessible height and location?			X	
5.10	Are publicly-accessible swimming pools equipped with an entrance lift?			X	
6.0	Interior Doors	Yes	No	N/A	Comments
6.1	Do doors at interior accessible routes appear to have compliant clear floor area on each side?	X			
6.2	Do doors at interior accessible routes appear to have compliant hardware?	X			
6.3	Do doors at interior accessible routes appear to have compliant opening force?	X			
6.4	Do doors at interior accessible routes appear to have a compliant clear opening width?	X			
7.0	Elevators	Yes	No	N/A	Comments
7.1	Are hallway call buttons configured with the "UP" button above the "DOWN" button?			X	
7.2	Is accessible floor identification signage present on the hoist way sidewalls?			X	
7.3	Do the elevators have audible and visual arrival indicators at the entrances?			X	
7.4	Do the elevator hoist way and car interior appear to have a minimum compliant clear floor area?			X	
7.5	Do the elevator car doors have automatic re-opening devices to prevent closure on obstructions?			X	
7.6	Do elevator car control buttons appear to be mounted at a compliant height?			X	
7.7	Are tactile and Braille characters mounted to the left of each elevator car control button?			X	
7.8	Are audible and visual floor position indicators provided in the elevator car?			X	
7.9	Is the emergency call system at the base of the control panel and not require voice communication?			X	
8.0	Toilet Rooms	Yes	No	N/A	Comments
8.1	Do publicly-accessible toilet rooms appear to have a minimum compliant floor area?	X			
8.2	Does the lavatory appear to be mounted at a compliant height and with compliant knee area?	X			
8.3	Does the lavatory faucet have compliant handles?	X			
8.4	Is the plumbing piping under lavatories configured to protect against contact?	X			
8.5	Are grab bars provided at compliant locations around the toilet?	X			

AMERICANS WITH DISABILITIES ACT (ADA) COMPLIANCE SURVEY

Project:	Palms on Ashley River	Project Number:	25-496276.3		
City/St:	Summerville, South Carolina	Date of Survey:	May 19, 2025		

The following characteristics of the subject property were evaluated. Comments are based on visual observations and measurements (when applicable).

8.6	Do toilet stall doors appear to provide the minimum compliant clear width?	X			
8.7	Do toilet stalls appear to provide the minimum compliant clear floor area?	X			
8.8	Do urinals appear to be mounted at a compliant height and with compliant approach width?	X			
8.9	Do accessories and mirrors appear to be mounted at a compliant height?	X			
9.0	Hospitality Guestrooms	Yes	No	N/A	Comments
9.1	Does property management report the minimum required accessible guestrooms?			X	
9.2	Does property management report the minimum required accessible guestrooms with roll-in showers?			X	

FEDERAL FAIR HOUSING ACT (FFHA) SEVEN DESIGN PARAMETERS COMPLIANCE SURVEY

Project:	Palms on Ashley River	Project Number:	25-496276.3
City/St:	Summerville, South Carolina	Date of Survey:	May 19, 2025

The following characteristics of the subject property were evaluated. Comments are based on visual observations and measurements (when applicable).

	General	Yes	No	N/A	Comments
	Was first occupancy at the subject property achieved after March 13, 1991?	X			
	Was property management or the owner aware of any areas of non-compliance?		X		
	Were there any instances of extreme terrain or unusual site characteristics observed?		X		
	Are buildings with elevators providing access to the dwelling units present? If so, please consider subsequent references to "covered dwelling units" to include ALL dwelling units to which elevator access is provided.		X		
	Are multi-level "townhome-style" dwelling units provided? If so, the multi-level units are exempt; however, the subject property as a whole is still required to comply with the provisions of FFHA.		X		

Covered multifamily dwelling units must have at least one building entrance on an accessible route, unless it is impractical to do so because of terrain or unusual characteristics of the site. For all such dwelling units with a building entrance on an accessible route the following seven requirements apply.

1.0	Requirement 1 – Accessible Building Entrance on an Accessible Route	Yes	No	N/A	Comments
1.1	Designated accessible parking spaces are provided in sufficient number		X		Some stalls have missing or non-compliant signage. Accessible parking not provided near the Building A-C mail center.
1.2	Accessible parking spaces are nearest to accessible building entrances	X			
1.3	Curb ramps are provided at heads of access aisles and transitions from paved areas to sidewalks		X		Several access aisles were less than 60" or not provided.
1.4	Walkway slopes/cross slopes appear adequate and not excessive	X			
1.5	Walkways are a minimum of 36" wide and are clear of obstructions, including overhanging vehicles	X			
1.7	Ramps (slope in excess of 5%) have handrails and edge protection	X			
1.8	A building entry point/access door is provided along the accessible route	X			
1.9	The main entrance is accessible (no steps, obstacles, or revolving doors)	X			
1.10	If breezeways exist, are cane detection rails provided at the underside of the ground floor level stair systems	X			
2.0	Requirement 2 – Accessible and Usable Public and Common Use Areas	Yes	No	N/A	Comments
2.1	A continuous, accessible route connects all of the accessible site elements. This is to include off-site public transportation locations, site parking areas, amenities (pools, playgrounds, trash compactor/dumpster staging areas, leasing, etc.), and dwelling units	X			
2.2	Designated accessible routes extend to the amenities (pool area, mail kiosk, playground, etc.) or designated accessible parking spaces provided	X			
2.3	Common area restrooms are accessible (i.e., door widths, clearances, fixtures, accessories, etc.)	X			
2.4	If centrally-located mail kiosks are provided, the "covered" dwelling unit boxes are located between 15" and 48" AFF (front approach), or between 9" and 54" AFF (side/parallel approach) and are greater than 12" from a corner		X		Mailboxes were upwards of 66" AFF.
2.5	If present, adequate access is provided to and within the laundry facilities	X			
2.6	Covered parking stalls are provided (i.e., garages, carports, etc.), and, if so, there are an adequate number of designated accessible parking spaces and corresponding access aisles available			X	
3.0	Requirement 3 – Usable Doors	Yes	No	N/A	Comments
3.1	There is 18" of clearance on the operable latch side of the door (entry doors only)	X			
3.2	Doors swing open 90 degrees and operate with minimal effort, and utilize lever-type hardware (entry doors only)	X			
3.3	Thresholds are designed within the maximum height/bevel parameters	X			

FEDERAL FAIR HOUSING ACT (FFHA) SEVEN DESIGN PARAMETERS COMPLIANCE SURVEY

Project:	Palms on Ashley River	Project Number:	25-496276.3
City/St:	Summerville, South Carolina	Date of Survey:	May 19, 2025

The following characteristics of the subject property were evaluated. Comments are based on visual observations and measurements (when applicable).

3.4	Door widths are a minimum of 32"; includes common area, unit entry/interior, and patio/balcony slider or French doors	X			
4.0	Requirement 4 – Accessible Route Into and Through the "Covered" Dwelling Unit	Yes	No	N/A	Comments
4.1	The interiors of the "covered" dwelling units provide adequate maneuverability throughout the interior (i.e., minimum 32" hallways/doors, including walk-in closets and laundry rooms)	X			
5.0	Requirement 5 – Light Switches, Electrical Outlets, Thermostats, and Other Environmental Controls	Yes	No	N/A	Comments
5.1	The "covered" dwelling unit electrical outlets are located at a minimum of 15" AFF in all applicable locations	X			
5.2	The "covered" dwelling unit countertop area includes electrical outlets that are located a maximum of 46" AFF in all applicable locations	X			
5.3	The "covered" dwelling unit electrical switches and environmental controls (including thermostats) are located no higher than 48" AFF	X			
6.0	Requirement 6 – Reinforced Walls for Grab Bars	Yes	No	N/A	Comments
6.1	Verification of the presence of reinforced backing for the future installation of grab bars at appropriate locations (i.e., water closet and shower stall)	X			Verified via drawings.
6.2	Verification that adaptable/appropriate wall finishes are provided at "covered" dwelling unit shower surrounds (i.e., flush tile or low-cavity back fiberglass)	X			
7.0	Requirement 7 – Usable Kitchens and Bathrooms	Yes	No	N/A	Comments
7.1a	The interiors of the "covered" dwelling units provide adequate maneuverability throughout the kitchen (i.e., 32" entryway/hallway/doors, 5' turning radius, or 30"x48" clear floor space at each appliance)		X		Type A Accessible/UFAS units did not have a centered clear floor space at the range-oven.
7.1b	The galley-style kitchens provide a minimum of 40" between opposing cabinetry and/or appliances		X		Galleys of 2 BR units were less than 40" in width at the fridge and dishwasher.
7.1c	The u-shaped kitchen provides a minimum 5' turning radius to allow adequate maneuverability to an appliance located at the end of the "U"			X	
7.2a	The interiors of the "covered" dwelling units provide adequate maneuverability throughout the bathroom (i.e., 32" entryway, hallway, doors, 5' turning radius, or 30"x48" clear floor space at each fixture, clear floor space outside the swing of the door, water closet centered a minimum of 18" from adjacent wall and/or 18" from adjacent fixture, faucet 24" from opposing wall/or removable front at base cabinet, etc.)		X		Lavatories within both bathrooms of 3 BR units did not have a side approach clear floor space. Forward approach possible but needs removable base cabinetry/finished flooring.
7.2b	There is only one bathroom, and it is designed as a compliant "Spec A" or "Spec B" bathroom			X	
7.2c	Or, if there is more than one bathroom provided in the "covered" dwelling unit, both are designed as a compliant "Spec A" bathroom, or at least one is designed as a compliant "Spec B" bathroom	X			2 BR units have a Spec B bathroom.

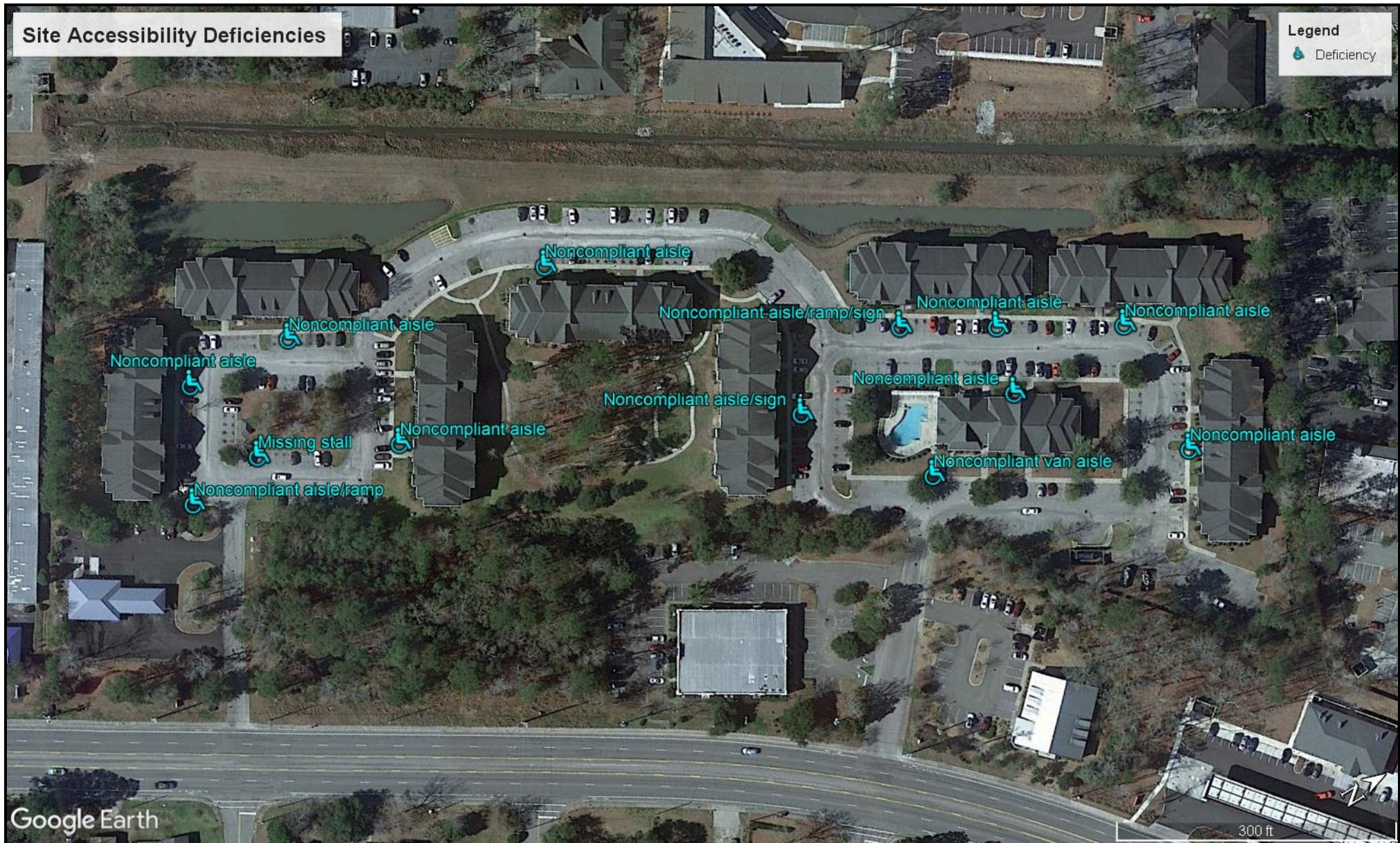
SECTION 504/UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) SURVEY					
Project:	Palms on Ashley River		Project Number:	25-496276.3	
City/St:	Summerville, South Carolina		Date of Survey:	May 19, 2025	
The following characteristics of the subject property were evaluated. Comments are based on visual observations and measurements (when applicable).					
	General	Yes	No	N/A	Comments
	Was the subject property built/renovated prior to July 11, 1988?		X		
	Does the subject property receive "project-based" federal financial assistance?		X		
	Is ownership/management aware of any Low-Income Housing Tax Credit (LIHTC) contracts or related Land Use Restrictive Agreements (LURA)?	X			SC Housing LIHTC program requires UFAS compliance during reno.
	Are there any designated accessible dwelling units at the subject property (i.e., modified for accessibility)?	X			Type A units per ANSI/IBC.
Existing (pre-1988) federally funded ("project-based") subject properties are required to comply with Section 504/UFAS "to the maximum extent feasible." Section 504/UFAS applies to all areas of common use to residents, as well as 5% (Mobility Impaired) and 2% (Sensory Impaired) of the total dwelling units.					
1.0	Accessible Building(s) and Common Use Area(s)	Yes	No	N/A	Comments
1.1	Designated accessible parking spaces are provided in sufficient number	X			
1.2	Accessible parking spaces are located nearest to accessible building entrances	X			
1.3	Curb ramps are provided at access aisles and transitions from paved areas to sidewalks	X			
1.4	Walkway slopes/cross slopes appear adequate and not excessive	X			
1.5	Walkways are a minimum of 36" wide and are clear of obstructions, including overhanging vehicles	X			
1.6	Ramps (greater than 5% slope) have handrails and edge protection	X			
1.7	A building entry point/access door is provided along the accessible route	X			
1.8	The main entrance is accessible (no steps, obstacles, or revolving doors)	X			
1.9	A continuous, accessible route connects all of the accessible site elements. This is to include off-site public transportation locations, site parking areas, amenities (pools, playgrounds, trash compactor/dumpster staging areas, leasing, etc.), and dwelling units	X			
1.10	Common area restrooms are accessible (i.e., door widths, clearances, fixtures, accessories, etc.)	X			
1.11	If centrally-located mail kiosks are provided, the designated accessible dwelling unit boxes are located between 15" and 48" AFF (front approach), or between 9" and 54" AFF (side/parallel approach)		X		See FFHA.
1.12	If present, adequate access is provided to and within the common laundry facilities, and/or additional site amenities, and usable fixtures and appliances are provided	X			
1.13	There is 18" of clearance on the operable latch side of the entry doors	X			
2.0	Designated Accessible Dwelling Units (5% Mobility Impaired)	Yes	No	N/A	Comments
2.1	There is 18" of clearance on the operable latch side of the doors	X			
2.2	Doors swing open 90 degrees and operate with minimal effort, and utilize lever-type hardware	X			
2.3	Thresholds are designed within the maximum height/bevel parameters	X			
2.4	Door widths are a minimum of 32" (nominal); includes entry, interior, and patio/balcony slider or French doors	X			
2.5	The interiors of the designated accessible dwelling units provide adequate maneuverability throughout the interior (i.e., minimum 32" hallways/doors, including walk-in closets and laundry rooms)	X			
2.6	The designated accessible dwelling unit electrical outlets are located at a minimum of 15" AFF in all applicable locations	X			
2.7	The designated accessible dwelling unit countertop area includes electrical outlets that are located a maximum of 46" AFF in all applicable locations	X			
2.8	The designated accessible dwelling unit electrical switches and environmental controls (including thermostats) are located no higher than 48" AFF	X			

SECTION 504/UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) SURVEY

Project:	Palms on Ashley River	Project Number:	25-496276.3
City/St:	Summerville, South Carolina	Date of Survey:	May 19, 2025

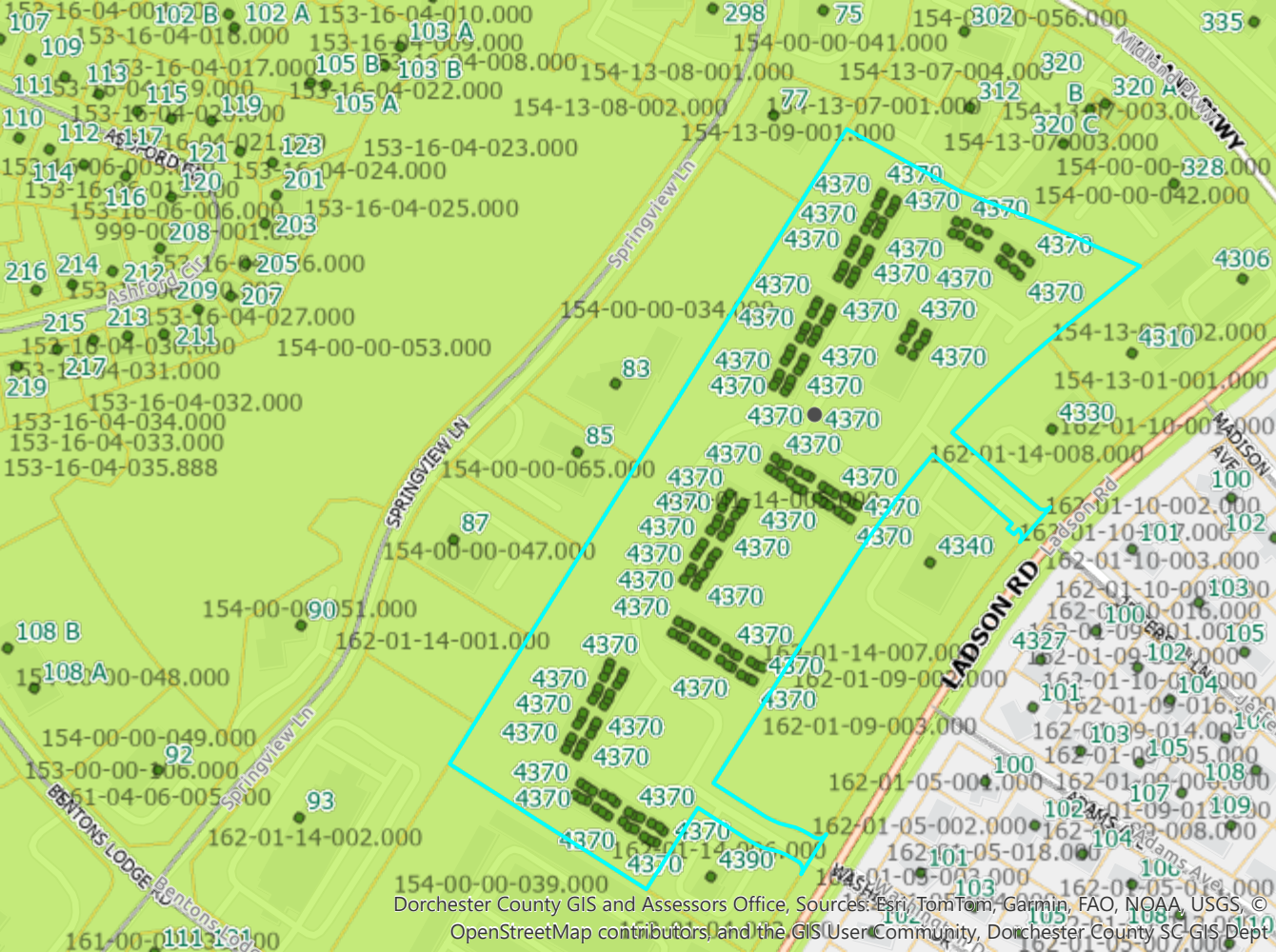
The following characteristics of the subject property were evaluated. Comments are based on visual observations and measurements (when applicable).

2.9a	The interiors of the designated accessible dwelling units provide adequate maneuverability throughout the kitchen (i.e., 32" entryway/hallway/doors, 5' turning radius, or 30"x48" clear floor space at each appliance)	X			
2.9b	A galley-style kitchens provide a minimum of 40" between opposing cabinetry and/or appliances	X			
2.9c	A u-shaped kitchen provides a minimum 5' turning radius to allow adequate maneuverability to an appliance located at the end of the "U"			X	
2.9d	Appropriate appliances and fixtures are provided within the kitchen of the designated accessible dwelling unit (i.e., range with front controls, a range-hood with accessible controls, a refrigerator with appropriate side by side or 60/40 freezer/refrigerator, roll-under sink with lever type faucet)	X			
2.9e	The countertops within the designated accessible dwelling unit kitchen include a minimum 30" workspace mounted no higher than 34" AFF, with adequate roll-under clearance or removable base cabinets and finished flooring provided beneath	X			
2.10a	The interiors of the designated accessible dwelling units provide adequate maneuverability throughout the bathroom (i.e., 32" entryway, hallway, doors, 5' turning radius, or 30"x48" clear floor space at each fixture, clear floor space outside the swing of the door, water closet centered 18" from opposing wall, roll-under type sink with under-sink protection, etc.)	X			
2.10b	Verification of the presence of reinforced grab bars at appropriate locations (i.e., water closet and shower stall), as well as appropriate shower seat and handheld wand-type shower head, and lever type faucets	X			
2.11	Verification of appropriate fixtures and mounting heights for items such as: mirrors, shelving, peepholes, intercoms, etc.	X			
2.12	The interiors of the designated accessible dwelling units utilize low-pile carpeting and/or non-slip flooring	X			
3.0	Designated Accessible Dwelling Units (2% Sensory Impaired)	Yes	No	N/A	Comments
3.1	A minimum of 2% of the total dwelling units are designated "Sensory Impaired" and include audio/visual components (i.e., strobe/horn alarms, visual indicators at door bells, and phones, etc.)		X		



Parcel Info: 162-01-14-005.000

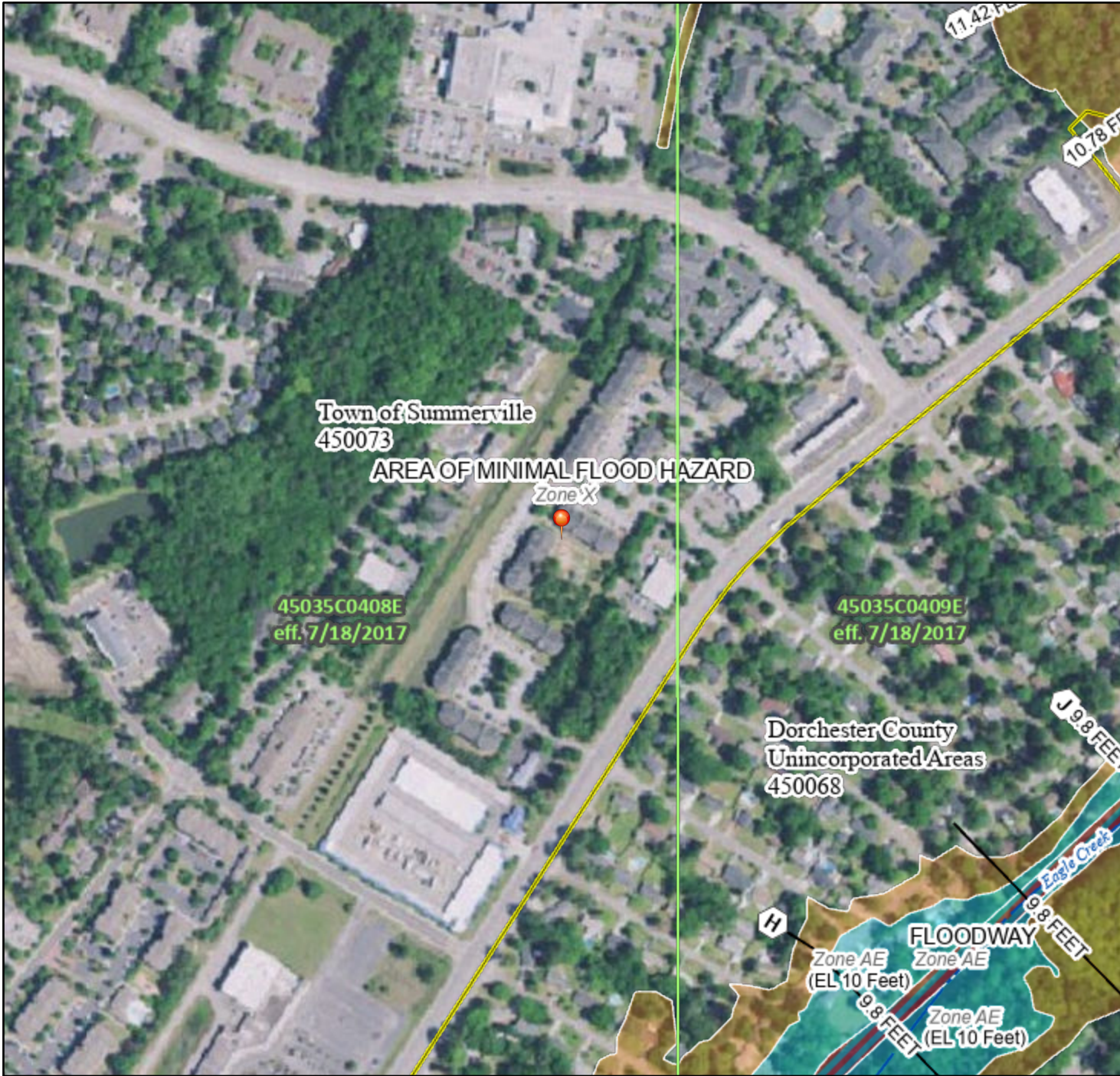
GIS_ACREAGE	13.47
PLAT_DATE	5/20/2015 8:00 PM
ACCOUNTNO	R0047544
TAX_DISTRICT	271
OWNER	PLANTERS RETREAT OWNER LLC
PARENT_PARCELNO	
PROPERTY_LOCATION	4370 LADSON RD
TAXED_ACRES	13.43
PLAT	M_56
LOT	1
SUBDIVISION	
SUB_INFO	
GRANTOR	PLANTERS RETREAT LLC
DEED	014337-052
RECORDING_DATE	8/18/2022 8:00 PM
SALE_DATE	8/17/2022 8:00 PM
SALE_PRICE	31,300,000.00
ZONINGCODE	MF-R_SV



National Flood Hazard Layer FIRMMette



80°9'45"W 32°57'58"N



1:6,000

80°9'8"W 32°57'28"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/2/2025 at 6:48 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Town of Summerville, South Carolina

Freedom of Information Request Form

Name of Requester Jacob Morris

Requesting Organization Partner Engineering and Science, Inc.

Address 1200 Ashwood Parkway Suite 130 Atlanta, GA 30338

Phone Number 4705278360 Email jmorris@partneresi.com

Under the South Carolina Freedom of Information Act, §30-4-10 et seq., I am requesting an opportunity to inspect and/or obtain copies of the following public records:

Partner Engineering and Science, Inc. is conducting a Phase I Environmental Site Assessment and/or a Property Condition Report Assessment on the following property:

Palms on Ashley River
4370 Ladson Road
Summerville, SC 29456
Partner Project No. 25-496276.3

As part of the investigation, we are requesting informally any and all records you have for the above-referenced property pertaining to the following:

BUILDING VIOLATIONS/RECORDS REQUEST

- Outstanding building violations;
- The original building permit or date of building construction;

JM

 (Initial) I understand that the Town of Summerville has ten (10) days, excluding weekends and Town holidays to respond to the above request and that I may have to pay the costs of copying, research hours and postage.

eSigned via SeamlessDocs.com
Jacob Morris

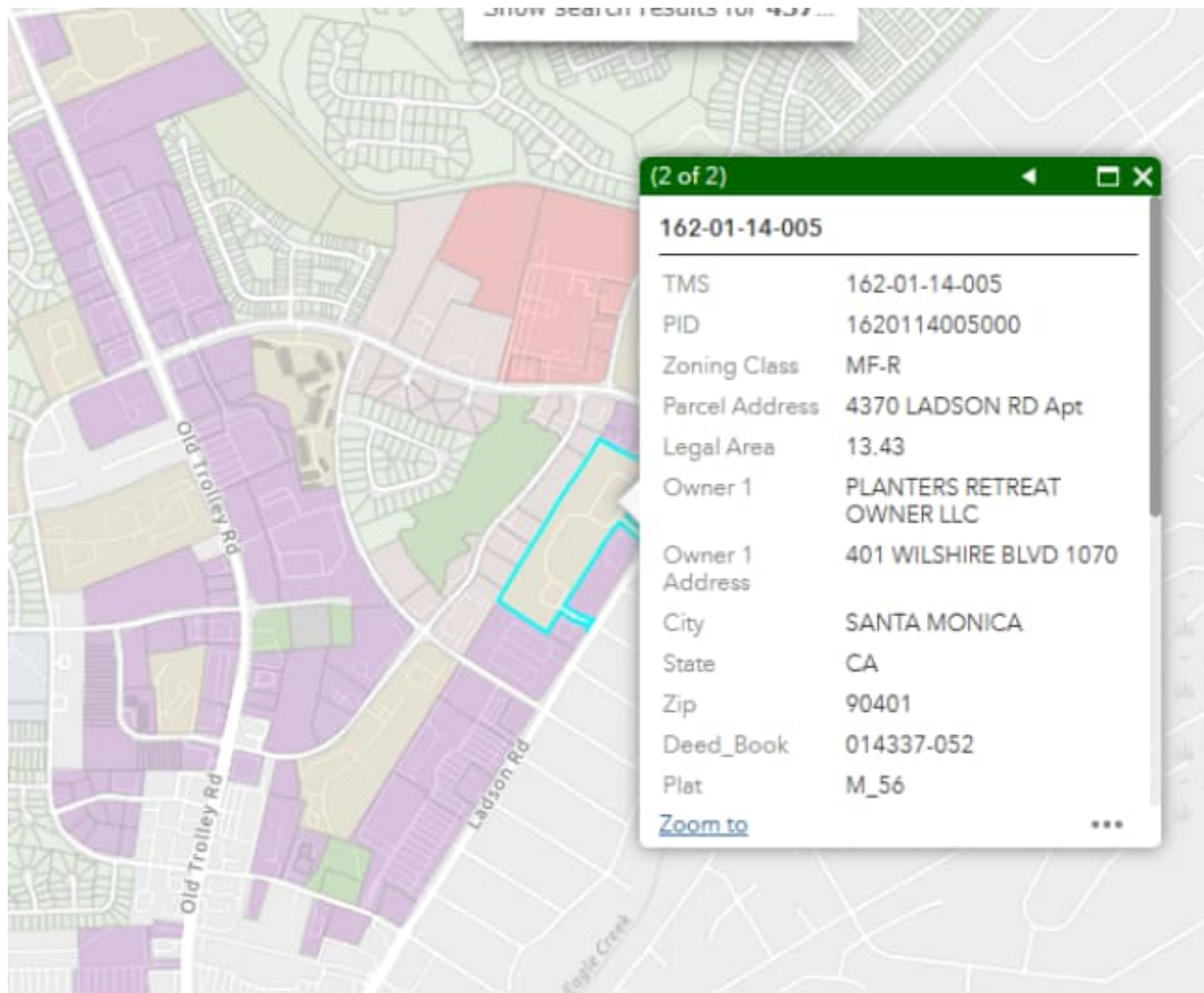
Key: 7980820a01004ed4c4b57f1c1841de14

Signature

05-01-2025

Date

For Office Use Only



SHOW SEARCH RESULTS FOR 437...

(2 of 2) ◀ □ ✕

162-01-14-005

TMS	162-01-14-005
PID	1620114005000
Zoning Class	MF-R
Parcel Address	4370 LADSON RD Apt
Legal Area	13.43
Owner 1	PLANTERS RETREAT OWNER LLC
Owner 1 Address	401 WILSHIRE BLVD 1070
City	SANTA MONICA
State	CA
Zip	90401
Deed_Book	014337-052
Plat	M_56

[Zoom to](#)

...



12.07.2023 - App Set

Scope of Work Outline

Palms on Ashley River Apartments

Renovations and Improvements
4370 Ladson Rd. Ladson, SC 29456



PROJECT DESCRIPTION:

Palms on Ashley River Apartments
Renovations and Improvements
4370 Ladson Rd. Ladson, SC 29456

PROJECT TEAM

Owner:

Lincoln Avenue Capital
201 Santa Monica Boulevard, Suite 550
Santa Monica, California 90401
Project Partner – Brian Moloney
Project Manager – Campbell Ebersoldt

Architect:

Ebersoldt + Associates Architecture
1214 Washington Avenue
St. Louis, Missouri 63101
Project Manager – Justin Robben
Job Captain – Maggie Schulte

General Contractor:

T.B.D.

DIVISION 1

1.1 Summary of Work

1. The following scope of work includes the renovation of the Palms on Ashley River Apartments at 4370 Ladson Rd. Ladson, SC 29456. The Palms on Ashley River Apartments were constructed in 2006 and consists of one hundred and ninety-two (192) dwelling units located within nine (9) two-story & three-story garden style apartment buildings and one (1) single story community building. Work will include interior renovations to the dwelling units and the community building and miscellaneous exterior improvements and site improvements.
2. There are one hundred and ninety-two (192) apartment units located within nine (9) buildings:
 - a. (7) Building Type I Buildings [(12) Type A Units & (12) Type B Units]
 - b. (1) Building Type II Buildings [(8) Type A Units & (8) Type B Units]
 - c. (1) Building Type III Buildings [(4) Type A Units, (4) Type B Units, & the Clubhouse]
3. There are four (4) Unit Types:
 - a. (91) Type A Units [Two Bed/ Two Bath]
 - b. (5) Type A1 Units [Two Bed/ Two Bath]
 - c. (91) Type B Units [Three Bed/ Two Bath]
 - d. (5) Type B1 Units [Three Bed/ Two Bath]
4. Ten (10) units be refurbished to meet current accessibility codes as per the Architectural Drawings. Per the International Building Code, 5% of the total units, ten (10) fully accessible units shall be provided by this scope of work. An additional, 2% of the total units, four (4) units will be provided to accommodate hearing or visually impaired (A/V) residents.

1.2 Governing Codes

1. The governing codes for this project are as follows:
 - a. 2021 South Carolina Building Code
 - b. 2021 South Carolina Existing Building Code
 - c. 2021 South Carolina Fire Code
 - d. 2021 South Carolina Plumbing Code
 - e. South Carolina Electrical Code 2020
 - f. South Carolina Fire Sprinkler Code 2019
 - g. 2021 South Carolina Mechanical Code
 - h. South Carolina Accessibility Code 2017
 - i. 2010 ADA Standards
 - j. Fair Housing Act Design Manual

1.3 Leasable Unit Areas

1. Leasable residential unit areas are calculated by taking dimensions from the corridor face of any unit perimeter partition, from the center line of any demising partition, from the inside face of any exterior wall, and from the center line of windows where the windows make up more than 25% of the entire linear footage of the exterior walls. It should be noted that all area calculations should be field verified during construction to ascertain true, "built" areas prior to marketing residential units for lease.

1.4 Drawings and Specifications

1. The scope of work narrative, specification manual and drawing documents shall serve as the documents for the project.
2. The drawings and specifications are intended to supplement each other. Any materials, labor, or scope described in one but not the other, will be construed to be included in both the drawings and specifications. Likewise, labor, materials, or scope not described in either the drawings or specifications, but obviously required for proper installation and function, will be provided by the subcontractor at no additional cost.
3. The project will be designed utilizing the design-build process. MEP drawings will be provided by the subcontractors and coordinated with the architectural drawings. MEP scope of work and design criteria have been provided in this document for pricing and design direction. MEP subcontractors shall provide 24x36" as-built drawings in PDF format (CAD background drawings may be obtained from the Architect).

1.5 Pricing / Scheduling Parameters

1. Contractor shall assume a construction start of [Date](#) for budgeting purposes.
2. The Owner is expecting all work to occur between the hours of 8:00 am and 5:00 pm Monday through Friday and with permission on Saturday. All residential unit interior work is expected to occur in occupied units with re-locations required only for work in the proposed ADA units.
3. Contractor shall be responsible for installation of all electronic deadbolts at the issuance of the Notice to Proceed and commencement of construction. Contractor shall include provisions to remove and reinstall electronic deadbolts at the time in which the associated exterior doors are being replaced, repaired and or repainted.
4. Contractor shall familiarize themselves with Lincoln Avenue Capital's Low-Voltage and Structured Cabling Requirements documents as provided by the owner.
5. Construction pricing package shall be presented in clear, concise format illustrating line-by-line costs on the provided bid form, with attached clarifications.
6. Contractor shall provide a detailed schedule including quantity and duration of all resident relocations required during construction as well as an overall construction timeline.
7. Site surveys, soil investigations, and environmental assessments are to be provided by the Owner.
8. Owner shall provide Builder's Risk Insurance within the typical insurance structure.
9. Contractor shall adhere to all SC Housing requirements for Construction of Low-Income Housing Tax Credit Multi-family rental housing and Section 42 requirements.
10. Contractor shall include the cost of all utilities related permits, building permits, and other trade permits in construction cost.
11. Costs associated with undocumented or off-site utilities shall be excluded.
12. Contractor shall include performance & payment bond.
13. Contractor shall include all applicable sales tax on materials.
14. Contractor shall assume that all existing utilities except gas are available and are of adequate size, pressure, capacity, and depth to serve this project and that any necessary easements or agreements are in place to allow for the necessary connections.
15. Contractor shall provide a detailed breakdown of the General Conditions, which shall be in accordance with the AIA A201, General Conditions of the Contract for Construction, as attached.
16. Construction warranty shall be provided for a period of one year from the date of substantial completion.
17. Contractor is to provide Operations & Maintenance Data Manual in the form of a a searchable PDF organized by division, either via downloadable file-link or flash drive.
18. Attic Stock is to be provided per the closeout section of Division 1 in the Specifications section of the Project Manual.

1.6 Allowances

(to include Overhead & Profit, Markups, and Labor & Materials)

1. [Signage](#)
2. [Siding Repair](#)
3. [Tuckpointing](#)

1.7 Alternates

(to include Overhead & Profit, Markups, and Labor & Materials)

1. List of Alternates.

1.8 Unit Pricing

(to include labor, materials, equipment, transportation, storage, and all markups including overhead and profit, bond, insurance and permitting costs.)

1. Sidewalk replacement (per panel)
2. Concrete drive pavement (per square foot)
3. Concrete curb (per linear foot)
4. Roofing repair (per square)
5. Relocation of electrical for accessible units (per device)
6. Condenser pad replacement (per pad)
7. A/C Condenser replacement (per unit)
8. GFCI Receptacles (per receptacle)

1.9 Submittals & Requests for Information

1. Contractor shall submit all project submittals and requests for information in PDF format via Submittal Exchange (Owner will set up & pay ProCore fees). For physical samples requiring approval, samples are to be sent both to the Architect and Owner. Interior finish samples are to be sent to Owner, Architect, and Interior Designer.

DIVISION 2 – Existing Conditions

2.1 Demolition

1. Contractor shall adhere to the demolition drawings and structural repair / reinforcement drawings to ascertain full scope of demolition. Contractor to provide for appropriate disposal of all demo related materials. The following demolition tasks shall be included (but not limited to) within the scope of work. Refer to the Architectural Drawing demolition sheets.
2. Site Demolition:
 - a. Removal of areas of damaged drive / parking lot concrete as illustrated in the Civil Drawings.
 - b. Removal of concrete sidewalks and curbs as illustrated in the Civil Drawings.
 - c. Removal of the existing playground equipment and fall protection material as indicated in the Architectural Drawings.
 - d. Removal of existing monument sign placard & flood lights.
 - e. Removal of existing accessible parking signage as indicated in the Architectural Drawings.
 - f. Removal of all existing pole mounted light fixtures.
 - g. Removal of all parking lot striping in preparation for new.
 - h. Removal of existing wood perimeter fencing.
 - i. Removal of existing pavilion structure, & foundations.
 - j. Removal of gates at the existing compactor enclosure.
 - k. Applicable site demolition required to construct (1) new playground areas per the architectural site plan.
 - l. Applicable site demolition required to construct (1) new pavilion per the architectural site plan.
3. Exterior Demolition:
 - a. Removal of existing building, unit, pool, and directional signage throughout.
 - b. Removal of existing wall pack lighting at all buildings.
 - c. Removal of existing door hardware on unit entry doors throughout.
 - d. Removal of existing breezeway lighting throughout.
 - e. Removal of existing exterior unit entry light fixtures at all buildings.
 - f. Applicable demolition for fiber cement siding repairs per allowance at apartment buildings.
4. Interior Dwelling Unit Demolition:
 - a. Hauling and dumping of non-hazardous debris.
 - b. Removal of interior walls and doors at (10) designated ADA Units as identified in the Architectural Drawings.
 - c. Removal of dwelling unit kitchen cabinets at (10) designated ADA Units.
 - d. Removal of dwelling unit bathroom vanity cabinets at (10) designated ADA Units.
 - e. Removal of dwelling unit flooring at (10) designated ADA units.

- f. Removal of dwelling unit kitchen appliances, including range, hood, dishwasher, and refrigerator, throughout.
 - g. Removal of dwelling unit bathroom accessories throughout.
 - h. Removal of dwelling unit light fixtures throughout.
 - i. Removal of dwelling unit window blinds throughout.
 - j. Removal of dwelling unit flooring per owner direction.
 - k. Removal of dwelling unit bathroom exhaust fans.
- 5. Interior Community Building Demolition:
 - a. Remove existing cabinetry and all associated hardware at existing kitchenette – cap all existing lines not to be rerouted for new plumbing locations.
 - b. Remove existing exterior doors per the architectural drawings.
 - c. Applicable demolition required for new plumbing fixtures at reconfigured kitchenette and restrooms.

2.2 Hazardous Materials & Abatement

Not Utilized.

DIVISION 3 – Concrete

3.1. Concrete

- 1. All exterior concrete to be air entrained 4,000 psi. See structural drawings for structural concrete requirements. Concrete paving at dumpster enclosures and where vehicular traffic will be present shall have a 6" compacted limerock base.
- 2. Concrete slab repair where new openings are created for plumbing work, correction of drainage issues, etc. shall be included.
- 3. Provide precast stair treads to match existing at the first flight of stairs at residential buildings throughout. New treads are to have open back.
- 4. Concrete footings, foundations, and slab shall be provided at the new Pavilion per the Architectural Drawings.
- 5. Steel reinforcement shall be provided at the new Pavilion foundation and new concrete slabs as per the Structural and Architectural Drawings.
- 6. Provide new accessible concrete walks, platforms, and ramps to existing compactor.

DIVISION 4 – Exterior Masonry

4.1. Concrete Masonry Units

- 1. Provide 8 x 8 x 16 CMU at the new pavilion column bases as illustrated in the architectural drawings.
- 2. Provide precast concrete caps at the pavilion column bases as illustrated in the architectural drawings.

4.2. Brick Veneer

- 1. Provide modular brick veneer at the new Pavilion as illustrated in the Architectural Drawings. Brick shall match, as best possible, existing brick veneer on residential buildings.
- 2. Reference 1.6 Allowances for Tuckpointing Repair allowance for tuckpointing at residential buildings as required throughout.

4.3. Manufactured Stone Veneer

Not Utilized.

DIVISION 5 – Metals

5.1. Steel

- 1. All steel to be factory primed.

2. Provide steel gates at (1) existing dumpster enclosure in accordance with details illustrated in the architectural drawings.
 - a. Gate to be 1.5 B galvanized, 20 ga. decking with tube frame, rollers and grease gerts.
3. Provide concrete filled 6" diameter steel pipe bollards at new dumpster enclosures. Refer to the Architectural Drawings for details.
4. Provide miscellaneous welding repairs required at exterior stairs and landings.
5. Provide square tube steel cane detection rails under ground floor breezeway stairs throughout.
6. Provide new steel columns at the new Pavilion as indicated in architectural and structural drawings.

DIVISION 6 – Wood and Plastics

6.1 Rough Carpentry

1. Blocking for doors, shelving, casework, shafts, toilet accessories, grab bars, handrails, guardrails, and fire extinguisher cabinets shall be included where no blocking currently exists. Provide patch and repair of drywall as required.
2. Provide rough carpentry framing for relocated walls and doors at converted accessible units.
3. Provide blocking at all first floor toilets and showers as indicated in architectural drawings. Provide all necessary modifications/repairs/replacement to exiting drywall and shower surrounds.
4. Provide wood framing, blocking, pre-engineered roof trusses, and exterior sheathing for the new Pavilion as indicated in the Architectural Drawings.
5. Provide Simpson connectors per the Structural drawings:
 - a. Confirm connector finish with architectural.
 - b. Coordinate connector sizing with post, beam and joist sizing; nominal vs. actual lumber dimensions must be verified and coordinated.

6.2 Finish Carpentry

Not Utilized.

6.3. Common Area Casework

Not Utilized.

6.4. Countertops

1. Dwelling unit kitchen countertops shall be replaced at (10) accessible units. New countertops shall be waterfall style post formed plastic laminate with matching 4" backsplashes and side splashes of AWI quality, custom grade or better, with plywood or MDF core with back up sheet. No drip edge shall be included. Provide exterior grade plywood or MDF for tops in which sinks occur. Joint connectors required at all joints. Color to be determined from manufacturer's standard line.
2. Dwelling unit bathroom vanity tops shall be replaced throughout with cultured marble vanity tops containing integral sinks, back splashes and overflow drains at (10) accessible units. Color shall be per the finish schedule Provide separate side splashes to match tops, and all accessories. Matte finish required, as selected, 3/4" homogeneous thickness.

6.5. Architectural Millwork

1. Standard unit wall base and opening casing:
 - a. Match existing finish and profile wood base trim and window/door casing.
 - b. Base shoe where existing carpet is replaced with hard surface.
2. Accessible unit wall base and opening casing:
 - a. 4" paint grade poplar wood base trim and window/door casing.
 - b. Base shoe where existing carpet is replaced with hard surface.

DIVISION 7 – Thermal & Moisture Protection

2.1. Roofing

1. Provide GAF Timberline HD, Certainteed Landmark, or Owens Corning Duration architectural asphalt shingles over 30# felt or U20 Rhinorooft synthetic underlayment or approved equal at the new Pavilion; color to be from the manufacturer's standard color line. Provide all flashings as required throughout at all roof penetrations and edges. Provide final inspection letter and warranty information from shingle manufacturer for project closeout.
2. Provide GAF or Certainteed 12" Unfiltered Ridge Vent - continuous ridge vent on roofs where shown on Architectural Drawings, within 12" of the end of the ridge (or distance as recommended by manufacturer).
3. Provide GAF or Certainteed Aluminum Slant Back Roof Exhaust Vent – aluminum static roof vents, or approved equal. Replace at existing locations and as noted on Architectural Drawings. Color to be from the manufacturer's standard color line.
4. Provide and install prefinished drip edge and flashing at roof edges.
5. Provide and install prefinished aluminum W flashing at all valleys. Open valley only. No closed valleys or "California" valleys allowed.
6. Provide flanges and asphalt cement to adhere shingles at all roof penetrations.

7.2. Sheet Metal/ Flashing

1. Contractor shall provide all miscellaneous necessary flashing, counter flashing, reglets and other miscellaneous sheet metal in coordination with details as illustrated in architectural drawings.
2. Provide new pre-finished white 6" "K style" seamless aluminum gutters and 4"x5" rectangular downspouts at the new Pavilion.

7.3. Exterior cladding

1. Contractor shall utilize manufacturer's standard caulks, cutting, and installation methods in all situations.
2. Provide pre-finished aluminum vented soffit panel and fascia wrap at the new Pavilion.
3. Provide pre-primed field painted LP smart Side or James Hardie horizontal lap siding and /or panels, and trim pieces over Tyvek CommercialWrap D (or Tyvek Commercial Wrap if a rainscreen is provided) at the new Pavilion. Contractor shall utilize manufacturer's standard caulks, cutting, and installation methods in all situations.
4. Reference 1.6 Allowances for Exterior Cladding Repair allowance for repair/ replacement of fiber cement siding and soffits at residential buildings as required.

7.4. Sealants and Caulking

1. Provide new caulking between dissimilar materials at areas of new work. Remove deteriorated caulking and install backer rod, as required, prior to new caulking.
2. Caulks and Sealants should be of an approved manufacturer such as Tremco, Dow Corning, Pecor, PRC, Sonneborn, GE, or equal and complying with specifications.
 - a. General Interior shall receive paintable siliconized acrylic latex caulk unless otherwise specified.
 - b. Toilets, tubs, shower, kitchen rooms shall receive mildew resistant silicon, Type S, Grade NS, Class A. Allow for opening in caulk at back of toilets, typical.
 - c. Joints at doors, windows, wall penetrations, concrete and masonry control joints, coping, and precast concrete joints shall receive Type M or S, Grade NS, Class A, Type II.
 - d. Glass and Glazing shall receive silicone sealant, Type S, Grade NS, Class A, Type II.
 - e. General Exterior shall receive Type M or S, Grade NS, Class A, Type II.
 - f. Floor Joint Sealant shall receive self-leveling sealant, Type S, Grade P, Class 25. This sealant shall be a one part self-leveling polyurethane sealant used to seal floor surface control joints.
 - g. Fire Stop Sealant shall be 3M Brand Fire Barrier, composite sheet CS-195, Wrap Strip FS-195, Caulk CP-25 and Putty 303 or approved equal.

- h. Acoustical Sealant shall be SCS-100 sound control Sealant by Miracle, Acoustical Sealant by Tremco, or US Gypsum or approved equal.
- i. Backer rod shall be closed cell polyethylene or polyurethane as recommended by the sealant manufacturer. Soft cell or Rod stock are acceptable backer rods.

6.5. Thermal Protection

Not Utilized

7.6. Weather Barriers

- 1. Brick Veneer:
 - a. Provide Tyvek Commercial wrap D with 1" minimum air space at locations noted in Architectural Drawings. Install per manufacturer's recommendations.
- 2. Fiber Cement Lap Siding:
 - a. Provide Tyvek Commercial wrap D (or Tyvek Commercial Wrap if a rainscreen is provided) at locations noted in Architectural Drawings. Install per manufacturer's recommendations.
- 3. Fiber Cement Panel:
 - a. Provide Tyvek Commercial wrap D (or Tyvek Commercial Wrap if a rainscreen is provided) with Sturdi-Strips or Keene Easy Fur furring strils and Kingspan GreenGuard DC14 drainage mat at locations noted in Architectural Drawings. Install per manufacturer's recommendations.

DIVISION 8 – Doors & Windows

8.1. Doors

- 1. Dwelling Unit Entry Doors:
 - a. Provide dwelling unit entry door hardware replacement throughout. All new dwelling unit entry doors to receive a lever handle, a dead bolt, new hinges, a peephole, door sweeps, and weather stripping – see Door Hardware Criteria for details.
- 2. Dwelling Unit Interior Doors:
 - a. Provide and install new, pre-hung, 6-panel, paint-grade interior unit doors as required by Architectural Drawings for (10) new ADA units. Bedroom, Bathroom, & Mechanical Closet doors are to be solid core. Closet & Laundry doors are to be hollow core.
 - b. Provide interior door hardware replacement throughout unit at (10) ADA units. Interior door hardware shall be lever handles with privacy locks at bedrooms and bathrooms, passage hardware at all other swing doors, and 4" wire pulls at bi-fold and bi-pass doors.
- 3. Community Building Entry Doors:
 - a. Provide Pre-Hung 6-Panel hollow metal doors with insulated core and wood frame per door schedule in Architectural Drawings. Comply with requirements of ANSI 250.8 for level and model, and ANSI 250 4 for physical endurance limit. Level 3 and physical performance level A (extra heavy duty), Model 2 seamless. Door must be thermal insulated with a minimum U Value of .83 or below.
 - b. Provide new insulated steel raised panel sectional overhead garage door at infilled existing opening. New garage door to be sized for existing opening. Color to be selected. Required minimum U Value of 0.83 or below.

8.2. Door Hardware

- 1. The following outline spec is to provide general direction for doors, frames & hardware. Contractor is responsible for providing a complete hardware package prepared under the direct supervision of a certified Architectural Hardware Consultant employed by the selected hardware distributor.
- 2. Basis of design for all door hardware is Allegion
 - a. ND – series hardware at all exterior doors.
 - b. AL - series hardware at all common area doors.
 - c. AL - series at unit entry doors.
 - d. F - series hardware: Schlage lever style F10 JAZZ at unit interior doors is included.
 - e. Finishes to be brushed nickel. No brass.
 - f. Provide weather-stripping at exterior doors throughout.

- g. Furnish wall stops as needed.
- h. Provide Key cabinet set-up and ready for use.
- i. Provide smoke seals and or sweeps at rated doors throughout.
- j. Provide spring hinges at unit entry doors throughout.
- k. Provide closer & kick plates of metal on common area bathroom doors & access controlled doors throughout.
- l. Provide kick plates of metal on all common area wood doors with closers.

8.3. Windows

Not Utilized.

8.4. Storefronts

Not Utilized.

DIVISION 9 – Finishes

8.1. Drywall

1. See architectural drawings for all wall ratings, partition types, and notes pertaining to clear communication of contractor requirements to follow manufacturer instructions in all cases.
2. Provide textured or smooth finish at all new drywall wall, ceiling and repair locations to match existing. Contractor to provide mock-up of textured finish application at wall and ceiling, subject to Owner representative approval prior to commencing textured finish application throughout project.
3. New drywall to be moisture resistant gyp. with 10-by-10 glass mesh joint tape and mold resistant joint compound is to be installed at the following locations:
 - a. Bathroom walls throughout including pre-rock behind tub and shower enclosures (excluding exterior walls if present).
 - b. Mechanical closets throughout.
 - c. Laundry closet connection wall (full height).
 - d. Kitchen sink, dishwasher & icemaker box areas 4'-0" high and a minimum of 2'-0" to both sides of plumbing pipe wall penetrations.
 - e. Community Building restrooms throughout unless tile backer is scheduled behind wall tile.
 - f. Community Building Janitor Closet wet walls and walls directly adjacent to a mop sink (full height).
4. At accessible units, provide drywall at new interior partitions, demising walls, & ceilings as illustrated in the architectural drawings. Match existing texture and finish.
5. Provide drywall repair/patch work as associated with replacement of countertops, HVAC, plumbing, and electrical systems outlined in this scope.

9.2. Flooring

1. Provide new solid surface flooring with paint grade wood wall base at (10) ADA unit entries, kitchens, dining room, and living room. Remove existing flooring prior to installation.
2. Provide new solid surface flooring with 4" cove base at (10) ADA unit bathrooms. Remove existing flooring prior to installation.
3. Provide new solid surface flooring with paint grade wood wall base at standard dwelling units per owner direction. Install at entry & kitchens, dining room, and living room. Remove existing flooring prior to installation.
4. Provide solid surface vinyl flooring with 4" cove base at standard dwelling unit bathrooms per owner direction. Remove existing flooring prior to installation.
5. Provide new carpet at bedrooms in (10) ADA units; refer to architectural drawings.
6. Provide new carpet at bedrooms in standard units per owner direction. Refer to Architectural Drawings.

7. Provide transition strips between dissimilar flooring at all new flooring locations, transitions at door openings to be centered on door slab unless noted otherwise.
 - a. VCT/Concrete: 1" Wide tapered vinyl strip.
 - b. VCT/CT: 1 ½" Wide tapered vinyl strip.
 - c. VCT/QT: 1 ½" Wide tapered vinyl strip.
 - d. VCT/CPT: Metal carpet edge trim.
 - e. QT/Concrete: 1 ½" Wide tapered vinyl strip.
 - f. QT/CT: 1 ½" Wide tapered vinyl strip.
 - g. QT/CPT: Metal carpet edge trim.
 - h. CT/Concrete: 1 ½" Wide tapered vinyl strip.
 - i. Concrete/CPT: Metal carpet edge trim.
 - j. CT/CPT: Marble or Metal carpet edge trim.

9.3. Tile

1. Provide Accent Wall Tile backsplash at Community Building Kitchen per finish schedule.
2. Provide tile termination and transition strips as required. Coordinate required profiles with tiles supplier, finish to be stainless steel.

9.4. Painting and Coatings

1. Exteriors:
 - a. Provide exterior painting of all new or reconfigured structures. To include: fiber cement panels, stucco, trim, soffits, railings, doors, etc.
 - i. Stucco Paint: SuperPaint Satin
 - ii. Stucco Paint: Loxon XP
 - iii. Paint per fiber cement siding manufacturer recommendations.
 - b. Preparation and painting of all non-galvanized steel with ProIndustrial Water-Based Acrylic Semi-Gloss throughout.
 - i. Primer: SW ProIndustrial Pro-Cryl Universal Acrylic Metal Primer
 - ii. 1st Coat: SW ProIndustrial DTM Acrylic Semi-Gloss B55-1000 Series
 - iii. Topcoat: SW Pro Industrial DTM Acrylic Semi-Gloss B66-1000 Series
 - c. Preparation and painting of new exterior railings/handrails/guardrails shall be included.
 - d. Painting of all unfinished metal doors and frames, 2 coats, shall be included.
2. Unit Interiors:
 - a. Provide interior painting of all new and existing walls, ceilings, doors, and frames at (10) accessible units. 2 coats shall be included.
 - i. Walls: ProMar200 Eg-Shel
 - ii. Ceilings: ProMar200 Flat
 - iii. Trim: ProIndustrial Water-Based Acrylic Semi-Gloss
 - b. Preparation and painting of all new casework and trim shall be included with ProIndustrial Water-Based Acrylic Semi-Gloss.
 - c. Provide preparation and painting of all new drywall areas including patches and repairs with ProMar200 to match existing/ adjacent finishes.
 - d. Provide 10 sf per dwelling unit for miscellaneous interior painting with ProMar200 to match existing/ adjacent finishes.. This is an addition to any painting associated with the removal and replacement of cabinets, countertops, mechanical, electrical, plumbing, removal for installation of blocking or the removal and relocation of interior partitions as noted on the Architectural Drawings

9.5. Stucco

Not Utilized.

DIVISION 10 – Specialties

10.1 Signage

1. Reference 1.6 Allowances for signage allowance to include wayfinding signage and (2) new placards at the existing monument signs.
2. In addition to the signage allowance provide ADA parking signs as indicated on the Civil and Architectural Drawings.

10.2 Kitchen Accessories

1. Provide new white grease guards at apartment ranges throughout. If the existing range location is in the corner of a kitchen, provide grease guard at wall behind range and perpendicular to range; caulk joint between grease guards with clear caulk. Guards to have factory drilled holes and are to be installed with matching white head pan screws.

10.3 Toilet Accessories

1. The following toilet accessories shall be provided at reconfiguration of bathrooms at dwelling units throughout. Sheetrock anchors will be allowed for installation of curved shower rods or other accessories. Finish for all toilet accessories is to be brushed nickel (no brass or polished chrome):
 - a. At tub/showers stud mounted curved shower curtain rod American Specialties #1201-B, installed at 6'-6" a.f.f. to center of rod mount.
 - i. Curtain rods shall be mounted 2-3" in from the outer face of the tub.
 - b. At showers provide American Specialties #1214 straight shower curtain rod.
 - i. Curtain rods shall be mounted 2-3" in from the outer face of the shower.
 - ii. Coordinate mounting heights with fair housing requirements.
 - c. (1) Moen Summit – YB6324CH Satin Chrome 24" towel bar mounted at 4'-0" a.f.f. to center of mount.
 - d. (1) Moen Summit – YB6318CH Satin Chrome 18" towel bar mounted at 4'-0" a.f.f. to center of mount above toilet in standard units. See architectural drawings for location at accessible units
 - e. (1) Moen Summit – YB6303CH robe hook mounted at 5'-6" A.F.F. at standard units and 4'-0" at (at 10 ADA units)
 - f. (1) Moen Summit – YB6309CH Satin Chrome single toilet paper holder provided at existing locations.
 - g. Bobrick 5806 grab bars (at 10 ADA units) with blocking as indicated in architectural drawings. New grab bars are to have brushed stainless finish.
 - h. Existing grab bars at tile tub surrounds are to remain.
 - i. (1) Bobrick B-5181 folding shower seat (at 10 ADA units) with blocking.

10.4 Metal Toilet Compartments

Not Utilized.

10.5 Mirrors

1. Replace dwelling unit bathroom mirrors at dwelling unit bathrooms at (10) accessible units. Provide width of vanity x 36" tall, frameless 1/4" mirror. Mount at top of back splash.

10.6 Wire Shelving

1. All fasteners shall be stud mounted. Provide new blocking in walls as required. No drywall anchors will be accepted. Provide caps at all cut ends.
2. At (10) accessible units, provide and install 12" deep wire shelving and rod at all closets, 4'-0" above finish floor. Shelving to be mounted to solid in-wall blocking.

10.7 Mailboxes/ Rent Drop

1. Existing mailboxes to remain. Owner to coordinate reassignment boxes to ensure that accessible unit mailboxes are within the accessible reach range.

10.8 Manufactured Fireplaces

Not Utilized.

10.9 Emergency Service Access

Not Utilized.

10.10 Fire Protection Accessories

Not Utilized.

DIVISION 11 – Equipment

11.1 Residential Appliances

1. Provide residential unit appliances per Owner's preferred make, model, and finish. For pricing purposes, Contractor should provide white finish, GE or approved equals.

2. Standard Dwelling Units: Appliances to be replaced as indicated below.
 - a. Refrigerator – GE #GIE21GTHWW or GE#GIE18GTNRWW (Verify existing openings)
 - i. Factory install ice maker.
 - b. Range – GE #JB258DMWW
 - i. Equipped with “Sensi-Temp” or manufacturer equal.
 - c. Dishwasher – GE #GDF500PGRWW
 - d. Garbage Disposal – GE #GFC325N
 - e. Microhood – GE #JVM3160DFWW
 - f. Range Hood – Broan #413001
3. ADA Dwelling Units (10 units)
 - a. Refrigerator – GE # GIE21GTHWW
 - b. Range – GE #JB480DMWW
 - i. Equipped with “Sensi-Temp” or manufacturer equal
 - c. Dishwasher – GE #GDT225SGLWW
 - i. With power cord ordered separately.
 - ii. Provide end panel where abutting a removable base cabinet.
 - d. Range Hood – Summit Appliance Model ADAH1630W
 - i. Switched at face of cabinets or within reach range on wall as coordinated with electrical subcontractor.
 - e. Countertop Microwave - GE #PEM31DFWW
 - f. Garbage Disposal – GE #GFC325N
4. Community Building
 - a. Refrigerator – GE #GNE29GYNFS
 - b. Dishwasher – GE #GDT225SSLSS
 - c. Microwave (counter top) – GE #ZEB122SLSS w/ 30” built-in trim kit.
 - d. Under Counter Refrigerator – Summit Appliance Model AL54

11.2 Waste Equipment

Not utilized

DIVISION 12 – Furnishings

12.1 Window Treatments

1. Provide new wand tilt and retract 3 1/2” vinyl vertical inside frame mounted blinds with steel head rail at residential dwelling unit windows throughout. Bi parting over wide window assemblies and configuration.

12.2 Residential Casework

1. **(10) Accessible Dwelling Unit** kitchen and bathroom vanity cabinets and all tops in accordance with the typical level of quality that Dominion utilizes for their projects, the following parameters shall apply:
 - a. Accessible Unit Kitchen and Vanity Cabinets
 - i. Rockport
 - ii. Standard overlay
 - iii. All plywood construction.
 - iv. Wood: Maple
 - v. Color: Ginger
 - vi. Accessible Type A Kitchen cabinets shall have removable fronts at the kitchen sink and additional open work station as indicated on the architectural drawings.
 - vii. Accessible Type A Bathroom cabinets shall have removable fronts at the vanity as indicated on the architectural drawings.
 - viii. All removable cabinet fronts shall be easily removable by the building management/maintenance staff. No wiring, cabling or plumbing shall interfere with cabinet front removal. Flooring shall extend under all cabinets with removable fronts.
 - ix. No “super square” corner base cabinets or “lazy susan” corner base cabinets. Where blind corners are unavoidable, provide toe kick material to fully conceal opening at inside blind corner.

- x. Provide filler panels as required. Separate finished end panels are not required (Smart cabinets come with pre-finished side/end panels).
 - xi. Provide finished end panels where required at both sides of removable sink bases and accessible work areas to hide dishwashers, ranges, blind corner cabinets, etc.
 - xii. Provide full coordination to account for all field conditions, avoidance of conflicts at corner conditions and conflicts between cabinetry and appliances.
 - xiii. Silencers shall be provided at all doors and drawers.
 - b. Accessible Unit Kitchen and Vanity Cabinet Hardware:
 - i. Amerock (Value) 3" Wire Pull BP 865-G10.
 - ii. Finish to be brushed nickel.
- 2. **Community Building Kitchen** cabinets, as indicated on the Architectural Drawings, cabinets shall adhere to the parameters of the accessible unit casework listed above as well as the following parameters shall be adhered to:
 - a. Community Building Kitchen Cabinets
 - i. Drawer boxes shall be a minimum of ½ inch softwood material with French dovetail to receive ¾ softwood back.
 - ii. Sides and front shall be grooved to receive ¼" plywood or tempered hardboard bottoms.
 - iii. Cabinet ends where exposed shall be standard finish end panels. At all exposed sides of refrigerators, matching panels shall be provided of at least 27" in depth.
 - iv. Silencers shall be provided at all doors and drawers.
 - v. Plywood construction at sink bases.
 - b. Community Building Kitchen Cabinet Hardware:
 - i. Amerock, Style: Blackrock, Pull BP 55277G 10
 - ii. Finish to be satin nickel.
- 3. **All Dwelling Unit Kitchen & Vanity Sinks**, provide Driptite Slide N' Fit Sink & Vanity Base Protector or Vance Industries #4UST30W cabinet sink base liner at all kitchen sink base and bathroom vanity cabinets (new and existing cabinets).
 - a. Pre-ordering recommended for this product
 - b. Caulk all sides, back and front.
 - c. Water supply drain and power penetrations must be above the sink base protector.

DIVISION 13 – Specialties

13.1 Pool

Not Utilized.

DIVISION 14 – Conveying Systems

Not Utilized.

DIVISION 21 - Fire Sprinklers

21.1. Fire Sprinkler Systems

Not Utilized.

DIVISION 22 – Plumbing

22.1 Plumbing Services

1. Contractor shall provide all labor, materials, equipment, and services necessary for a complete Design/Build and operational plumbing system throughout. All work to meet local, state, and national industry standards, codes, and ordinances.
2. This scope specification is the minimum standard for the acceptable quality of equipment, materials and workmanship. This subcontractor will be responsible for the proper design, installation, and sizing of all mechanical systems and equipment necessary to provide a complete functional installation.
3. The drawings and specifications are intended to supplement each other. Any materials or labor described in one but not the other, will be construed to be included in both the drawings and

specifications. Likewise, labor and materials not described in either the drawings or specifications, but obviously required for the proper installation and functioning of the systems will be provided by the subcontractor at no additional cost.

4. Codes and Permits:
 - a. Design and install all plumbing work in accordance with the latest regulations of the International Building Code and all other applicable codes, laws, regulations, and local code enforcement officials.
 - b. Any and all work necessary, whether it is shown or specified, shall be provided if it is required by the applicable codes and/or the local building inspection authorities.
 - c. Requirements of the applicable codes and regulations shall be considered as minimum safety requirements and criteria in this specification which exceeds code requirements shall take precedence.
 - d. Cause the design and ultimate installed construction to be in compliance with the IBC. Participate in the special inspections for compliance of IBC. Cost of the special inspector will be by the contractor. Cost for the plumbing subcontractor to participate and demonstrate IBC compliance shall be by the plumbing subcontractor.
5. Obtain and pay for all permits, licenses, fees, etc., required by governing agencies prior to commencement of work. Upon completion of work, obtain all necessary inspections, approvals, and written acceptance from the proper governing agencies having jurisdiction.
6. Charges based on assessments or usage shall not be the responsibility of the Plumbing Subcontractor.
7. Submit certified plumbing drawings and specifications to the building officials with permit applications.
8. The subcontractor shall obtain temporary certificates if necessary. He shall obtain a final certificate of inspection, without reservations, from the respective inspection department when all the work has been completed, tested and placed into operation.
9. Coordination:
 - a. Coordinate the plumbing design and installation with the work of all other trades to avoid conflict, interferences, delays, and errors in construction.
 - b. In case of conflict, the Contractor shall decide the proper location or layout and any costs of revisions shall be at the expense of the Subcontractor responsible for the work.
 - c. Verify all dimensions prior to fabrication and the beginning of the installation of the work.

22.2 Dwelling Units

1. At (10) accessible units, replace all kitchen plumbing fixtures. Installation to include:
 - a. Disconnect of waste and water piping for demolition by others.
 - b. Provide and install new ADA depth sink of maximum 5-1/2" depth and trap and flange wraps as required
 - c. 18 gauge undermount drop-in sinks.
 - d. Supply and install new Moen Slate - 76162 single handle pull-down chrome faucet (1.8 GPM).
 - e. Supply and install new basket strainers, traps and water supply tubes and stop valves.
 - f. Caulk as required.
2. At (10) accessible units, replace all lavatory sinks and faucets. Installation includes:
 - a. Disconnection of waste and water piping for demolition by others.
 - b. New material tops supplied by others.
 - c. Supply and install new accessible units to have ADA depth sink of maximum 5-1/2" depth and trap and flange wraps as required under mount sink by quartz top supplier.
 - d. Supply and install new Moen Slate – 40051 single handle faucet (1.5 GPM). Must be labeled as Water Sense.
 - e. Supply and install new supply tubes and P-traps as required.
 - f. Caulk as required.
3. Provide and install new three-piece Florestone Model 35-62H Barrier Free Shower with optional grab bars & toiletry shelves at (10) ADA units.

- a. Supply and install Moen Slate – 62370
 - b. Supply and install Moen Slate – 48002NHCGR
 - c. Supply and Install Moen Slate – A721
 - d. Supply and Install Moen Slate – 3671EP
4. At (10) accessible units, provide and install new ADA compliant low-flow (1.28 GPF) 700 MaP water closets throughout. Installation includes:
- a. Supply and install new low-flow (1.28 GPF) water closet as manufactured by Pro-Flow, Gerber, or American Standard.
 - b. Supply and install new wax ring, closet bolts and supply tube.
 - c. New plastic seat.
 - d. Flush controls to be located on open side of toilet.
 - e. Fixture must be Water Sense labeled.

22.3 Community Building

- 1. Supply and install new 20 gauge 33"x22" stainless steel sink with maximum 5-1/2" bowl depth at kitchen. Units as manufactured by Elkay, Dayton or Proflow.
 - a. Supply and install new faucet at community building kitchen per finish schedule.

22.4 Maintenance Building

Not Utilized.

DIVISION 23 – Heating Ventilating and Air Conditioning

23.1 Mechanical Services

- 1. Contractor shall provide all labor, materials, equipment, and services necessary for complete and operational HVAC systems at all residential units at all buildings. All work to meet local, state, and national industry standards, codes and ordinances.
- 2. This scope specification is the minimum standard for the acceptable quality of equipment, materials and workmanship. The subcontractor will be responsible for the proper design, permitting, installation, and sizing of all mechanical systems and equipment necessary to provide a complete functional installation.
- 3. The drawings and specifications are intended to supplement each other. Any materials or labor described in one but not the other, will be construed to be included in both the drawings and specifications. Likewise, labor and materials not described in either the drawings or specifications, but obviously required for the proper installation and function of the systems, will be provided by the subcontractor at no additional cost.
- 4. The mechanical drawings and all design calculations shall be certified by a Mechanical Engineer, registered in the state of South Carolina.
- 5. Submit certified mechanical drawings and specifications to the building officials with permit applications.
- 6. Consult the complete drawings and specifications to determine and provide for the mechanical requirements of work provided by others including, but not limited to, the Electrical Subcontractor. If clarifications to the specifications are required to document interface with these Subcontractors, provide such clarification prior to entering into a subcontract. Later claims for labor, materials, equipment and work required for any difficulty encountered shall not be recognized, and all such difficulties shall be resolved by this Subcontractor at his sole expense.
- 7. Codes and Permits:
 - a. Design and install all mechanical work in accordance with the latest regulations of the current South Carolina Building Code, Mechanical Code and all other applicable codes, laws, regulations, and local code enforcement officials.
 - b. Any and all work necessary, whether it is shown or specified, shall be provided if the applicable codes and/or the local building inspection authorities require it.
 - c. Requirements of the applicable codes and regulations shall be considered as minimum safety requirements, and criteria in this specification that exceeds code requirements shall take precedence.

- d. The design and final installed construction shall be in compliance with the South Carolina Mechanical Code. Contractor shall participate in the special inspections required for compliance with the South Carolina Mechanical Code. Cost of the special inspector will be by the contractor. Cost for the mechanical subcontractor to participate and demonstrate South Carolina Mechanical Code compliance shall be by the mechanical subcontractor.
- 8. Obtain and pay for all permits, licenses, fees, etc., required by governing agencies prior to commencement of work. Upon completion of work, obtain all necessary inspections, approvals, and written acceptance from the proper governing agencies having jurisdiction.
- 9. Charges based on assessments or usage shall not be the responsibility of the Mechanical Subcontractor.
- 10. The subcontractor shall obtain temporary certificates if necessary. He shall obtain a final certificate of inspection, without reservations, from the respective inspection department when all the work has been completed, tested and placed into operation.
- 11. Coordination:
 - a. Coordinate the mechanical design and installation with the work of all other trades to avoid conflict, interferences, delays, and errors in construction.
 - b. In case of conflict, the Contractor shall decide the proper location or layout and any costs of revisions shall be at the expense of the Subcontractor responsible for the work.
 - c. Verify all dimensions prior to fabrication and the beginning of the installation of the work.

23.2 Dwelling Units

- 1. Replace existing bathroom exhaust fans throughout. Installation to include:
 - a. New Energystar rated exhaust fan or replacement fan for existing housings.
 - i. 50 CFM min.
 - ii. 1 SONE max.
 - b. New ductwork as required.
- 2. Replace exterior dryer vents at dwelling units throughout. Fully vacuum/ clean out existing ductwork.
- 3. Replace existing thermostats throughout. At ground floor units, install within accessible reach range of 48" aff.

23.3 Community Building

Not Utilized.

23.4 Maintenance Building

Not Utilized.

DIVISION 26 – Electrical

26.1 Photovoltaic Collectors

- 1. Provide and install a full photovoltaic package per owner direction.

26.2 Electrical

- 1. This scope specification is the minimum standard for the acceptable quality of equipment, materials and workmanship. The subcontractor will be responsible for the proper design, permitting, installation, and sizing of all electrical systems and equipment necessary to provide a complete functional installation.
- 2. The drawings and specifications are intended to supplement each other. Any materials or labor described in one but not the other, will be construed to be included in both the drawings and specifications. Likewise, labor and materials not described in either the drawings or specifications, but obviously required for the proper installation and function of the systems, will be provided by the subcontractor at no additional cost.

3. Contractor shall provide all labor, materials, equipment, and services necessary for a complete and operational electrical system for all occupancies throughout.
4. Codes and Permits:
 - a. Design and install all electrical work in accordance with the latest regulations of the IBC and all other applicable codes, laws, regulations, and local code enforcement officials.
 - b. Any and all work necessary, whether it is shown or specified, shall be provided if the applicable codes and / or the local building inspection authorities require it.
 - c. Requirements of the applicable codes and regulations shall be considered as minimum safety requirements, and criteria in this specification that exceeds code requirements shall take precedence.
 - d. The design and final installed construction shall be in compliance with the IBC. Participate in the special inspections for compliance with IBC. Cost of the special inspector will be by the contractor. Cost for the electrical subcontractor to participate and demonstrate FBC compliance shall be by the electrical subcontractor.
5. Obtain and pay for all permits, licenses, fees, etc., required by governing agencies prior to commencement of work. Upon completion of work, obtain all necessary inspections, approvals, and written acceptance from the proper governing agencies having jurisdiction.
6. Charges based on assessments or usage shall not be the responsibility of the Electrical Subcontractor.
7. Submit certified electrical drawings and specifications to the building officials with permit applications.
8. The subcontractor shall obtain temporary certificates if necessary. He shall obtain a final certificate of inspection, without reservations, from the respective inspection department when all the work has been completed, tested and placed into operation.
9. Coordination:
 - a. Coordinate the electrical design and installation with the work of all other trades to avoid conflict, interferences, delays, and errors in construction.
 - b. In case of conflict, the Contractor shall decide the proper location or layout and any costs of revisions shall be at the expense of the Subcontractor responsible for the work.
 - c. Verify all dimensions prior to fabrication and the beginning of the installation of the work.
 - d. Reference Interior Design and Electrical drawings and light fixture schedule for fixture models and details:

26.3 Exterior Work

1. Replace existing exterior dwelling unit entry light fixtures.
2. Replace existing exterior breezeway light fixtures.
3. Replace existing down-lighting at mail kiosk.
4. Replace existing monument sign flood lighting.
5. Replace existing pole mounted light fixtures at property owned poles throughout.
6. Replace photocells throughout.

26.4 Dwelling Units

1. Replace all dwelling unit interior lighting throughout per the fixture schedule.
 - a. At bedrooms and living room ceiling fans, fan and light must be wired to a separate switch.
2. (10) vision & hearing impaired units shall comply fully with ANSI A117.1 Chapter 7.
 - a. Unit smoke detection:
 - i. All smoke detectors shall be interconnected to include an audible and strobe notification device like the BRK 7020BSL.
 - ii. If a CO detector is needed, a separate device needs to be installed and interconnected with this device.
 - b. Building fire alarm system:
 - i. Where a building fire alarm system is provided, the system wiring shall be extended to a point within the unit in the vicinity of each bedroom detector and one location in the common area like all other units.

- ii. The combination signaling device shall be activated by the building containing the unit.
 - iii. The lens of the device shall be RED like the Edwards Signaling Combination Devices, 869 Series.
 - c. Resident unit primary entrance:
 - i. A hard-wired electric doorbell shall be provided on the public side of the resident unit primary entrance.
 - ii. Activation of the button shall initiate an audible tone along with a strobe within the unit.
 - iii. The combination signaling device shall have a BLUE lens like the Edwards Signaling Combination Devices, 869 Series.
- 3. Replace GFCI receptacles at laundry room washer receptacles or breakers serving the associated circuits as required by code.
- 4. At (10) ADA units, provide rewiring of switches and outlets at new locations as required per Architectural Drawings.
- 5. At (10) ADA units, provide relocation of electrical panel to be within the 48" accessible reach range.
- 6. At (10) ADA units, provide emergency call devices in bedrooms and bathrooms within the accessible reach range throughout.
- 7. Replace smoke detectors at dwelling units with new looped detectors throughout.
- 8. Replace receptacles, switches, and cover plates at dwelling units throughout.
- 9. Wire bathroom exhaust fan and bathroom ceiling mounted light fixture to be controlled from one switch – SmartExhaust SED-S. Set switch to continue running fan for 10 minutes after light is turned off. (Vanity light must remain switched separately)

26.5 Community Building

Not Utilized.

26.6 Maintenance Building

Not Utilized.

DIVISION 27 – Communications

27.1 Low Voltage Communication Services

- 1. All work to be in accordance with Lincoln Avenue Capital Low-Voltage and Structured Cabling Requirements document as provided by owner.
- 2. Contractor to furnish and install the following:
 - a. Install plywood backboard in customer telecommunications room.
 - b. Port patch panel compatible with structured wiring solution and warranty. Contact Lincoln Avenue Capital for sourcing assistance and sizing requirements. Assemble and install Smart Rack Wall Mount Rack in Server closet.
 - c. Assemble and install shelf, cabinet, patch panel, UPS in Cabinet.
 - d. Wire all areas with CAT5E cable with a homerun from each data jack to the patch panel. Runs shall not exceed 100 meters in length.
 - e. Provide dedicated 20 amp quad receptacle in Server room.
 - f. Provide 100 cfm exhaust fan operating on a cooling thermostat at Server closet.
- 3. Install CAT5E wiring and Ethernet jacks at the Community and maintenance building as shown on the architectural and electrical drawings.
- 4. Provide a media panel at the Community building for data and TV distribution.

DIVISION 28 – Electronics Safety and Security

28.1 Security Monitoring System

- 1. Provide new Security Camera System. System to include:
 - a. Install new Digital Video management System to cover surveillance of the following areas and as shown on the architectural drawings:
 - b. The system shall include the following (no exceptions):
 - i. **Required vendor:** IPS, contact Andrew Powell at 763-250-9779. Camera system to be design-build based on this scope of work outline. All bidders must visit the site and acquaint themselves to the site conditions to

properly mount the cameras for the required coverage. All wiring for cameras mounted in and on the buildings to be concealed with-in the building framing or attic spaces. No exposed wiring or conduits permitted unless approved by the Owner. Include all trenching, conduits, backfill and site wiring back to head end equipment. Includes boring under streets and other paved areas as required for this work. Bidder is to obtain any necessary permits and follow any City requirements for boring under city streets, and to include all other necessary materials for a complete system install. All 120 volt power requirements for the system are to be included in this bid. Bids are to meet all local codes and requirements. Work to include furnishing and installing a 36" flat screen TV in the Community Building on the wall to the right of the entry. This will be a remote monitor that is to display all camera images at once. Bidder to include all setup, programming of equipment and Owner training.

- ii. All of the cameras are to terminate in the Community Building office on the head-end equipment located in the work room. It is expected that the final design and layout will not require a permanent internet service at a remote location on the site. (i.e. camera 2 will not need internet service at the building it is mounted on to send its images back to the Community Building. A cat 5e home run from the camera head end equipment to management's network equipment located in the club house is to be included and connected to the system to allow remote access to the system over the internet. Manager's computer to be used for remote viewing of all the cameras.
- iii. Provide license plate cameras and all associated camera equipment at property entrance. Field verify location.
- iv. No exposed conduits or raceways will be accepted.

28.2 Access Control System

Not Utilized.

DIVISION 31 – Earthwork

31.1 Excavation

1. Excavation of hidden structures or buried debris shall not be included.
2. Compaction of backfill material under paving or as required by utilities shall be included.
3. Dewatering of ground water in excavated areas shall be included.
4. Dumping fees of any debris shall be included.
5. All new/replaced sidewalks shall be properly backfilled to within 1-1/2" from surface. The disturbed areas to be sodded as part of base bid and not part of allowance.

DIVISION 32 – Exterior Improvements

32.1 Concrete Paving

1. Concrete sidewalk repair at areas interrupted by construction work shall be included.
2. Remove and replace existing damaged sections of concrete sidewalk with new 4" concrete on 4" compacted gravel fill. Refer to Architectural Drawings for areas requiring replacement.
3. Provide concrete slab on compacted gravel fill at new accessible parking spaces and walk aisles. Dowel to adjacent existing paving per Civil Drawings.
4. Provide concrete sidewalks on compacted gravel fill shall be dowelled to adjacent existing sidewalks per Civil Drawings.
5. Provide new curb ramps at accessible parking spaces and along accessible routes to the community building and playgrounds as illustrated in the Architectural Drawings.
6. At the perimeter of the new playground area, provide a poured concrete curb per architectural detail, protruding 6" above finish grade, by 8" wide with accessible curb cut and approved mulch



product over fill and drain tile throughout for positive drainage across each playground and out of each playground to daylight as indicated on the architectural site plan. Detail provided in the architectural drawings.

32.2 Asphalt Paving

Not Utilized.

32.3 Sitework

1. Provide cleaning of garbage & undergrowth from retention pond. Confirm proper drainage and repair as required.
2. Provide new sod at ground disturbed around the perimeter of new site parking areas or other site improvements where other landscaping is not specifically shown on the landscape plan (include in landscape allowance).
3. Site amenity furnishings & accessories as indicated in the Architectural Drawings, as follows:
 - a. Provide (1) ADA accessible picnic table and (3) standard picnic tables.
 - b. Provide (2) park grade charcoal grilles.
 - c. Provide (1) pad mounted ash receptacles.
 - d. Provide (3) pad mounted waste receptacles. Waste receptacle should be provided with metal liners.
 - e. Provide (1) tot-lot and (1) child playground equipment. Assume an allowance per section 1.6 for equipment, materials, and installation. Playground equipment selection is to be coordinated with the owner and architect.

32.4. Fencing and Vehicular Gates

1. Provide temporary 6' chain link security fence with wind block at perimeter of new construction area.
2. Provide new 6' wood perimeter fencing at existing locations throughout. Style to match existing configuration.

DIVISION 33 – Utilities

All potential Connection Fees, and all potential tap destroys shall be included.



ACCESSIBILITY DEFICIENCY SITE PLAN
Project No. 23-422716.4



Commercial Real Estate
Due Diligence Management

3465 South Arlington Rd Suite E#183
Akron, OH 44312

866.290.8121
www.amnational.net

ALTA/NSPS Land Title Survey

for

Planters Retreat Apartments

Surveyor's Certification

**4370 Ladson Road
Ladson, South Carolina
County of Dorchester**

**BASED UPON TITLE COMMITMENT NO. NCS-1139413-BOS1
OF FIRST AMERICAN TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF MAY 25, 2022**

TO: FIRST AMERICAN TITLE INSURANCE COMPANY AND AMERICAN NATIONAL, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 6B, 7A, 7B1, 7C, 8, 9, 10, 11(A), 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 7, 2022.

DANA R. AUGUSTINE, P.L.S.
REGISTRATION NO. 30293
STATE OF SOUTH CAROLINA
DATE OF SURVEY: JUNE 7, 2022
DATE OF LAST REVISION: JUNE 13, 2022
NETWORK REFERENCE #20221483-1
SURVEY PERFORMED BY:
SITE DESIGN, INC.
225 ROCKY CREEK RD
GREENVILLE, SC 29615
PHONE: 864-271-0496



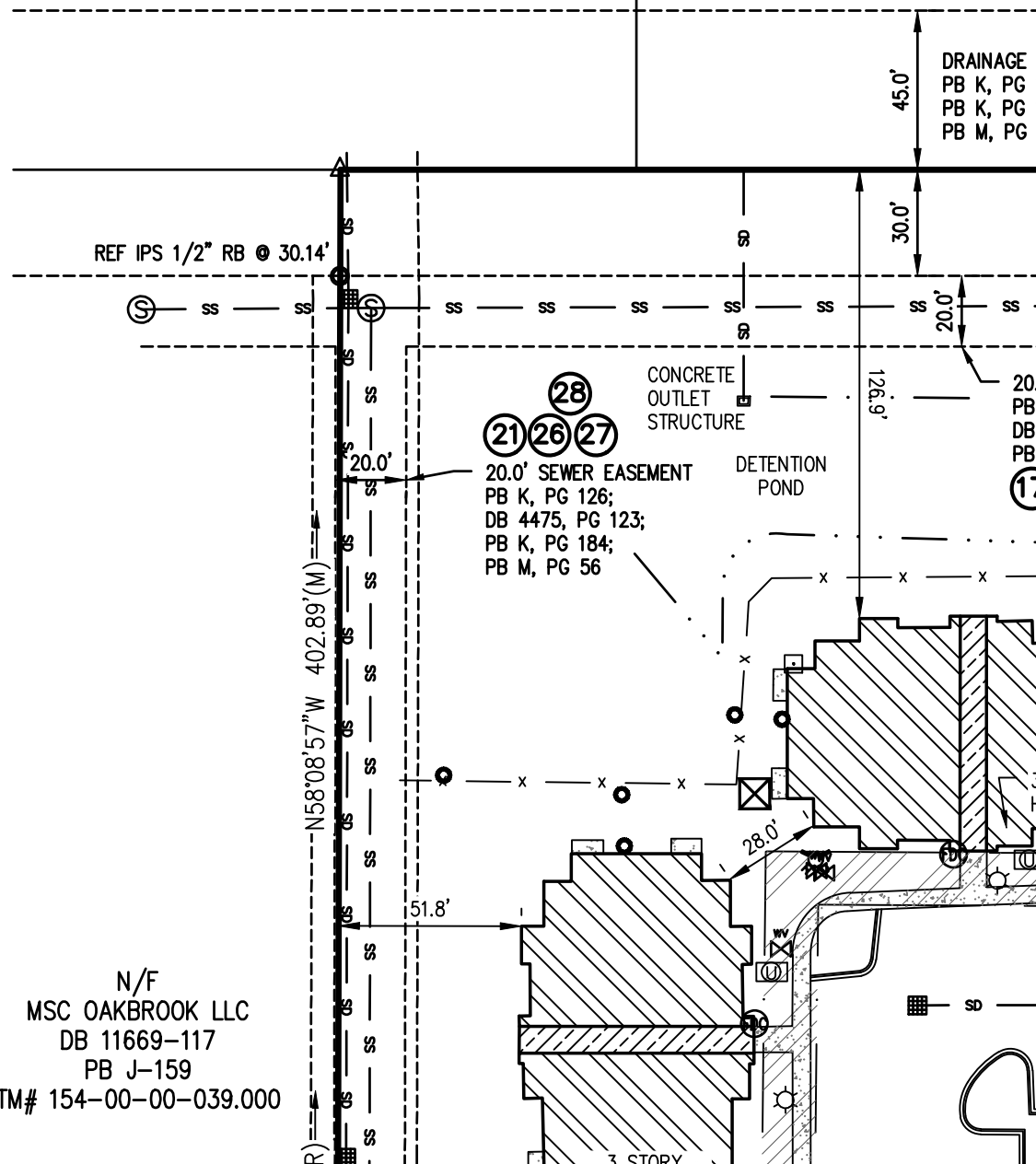
Commercial Real Estate
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www.amnational.net

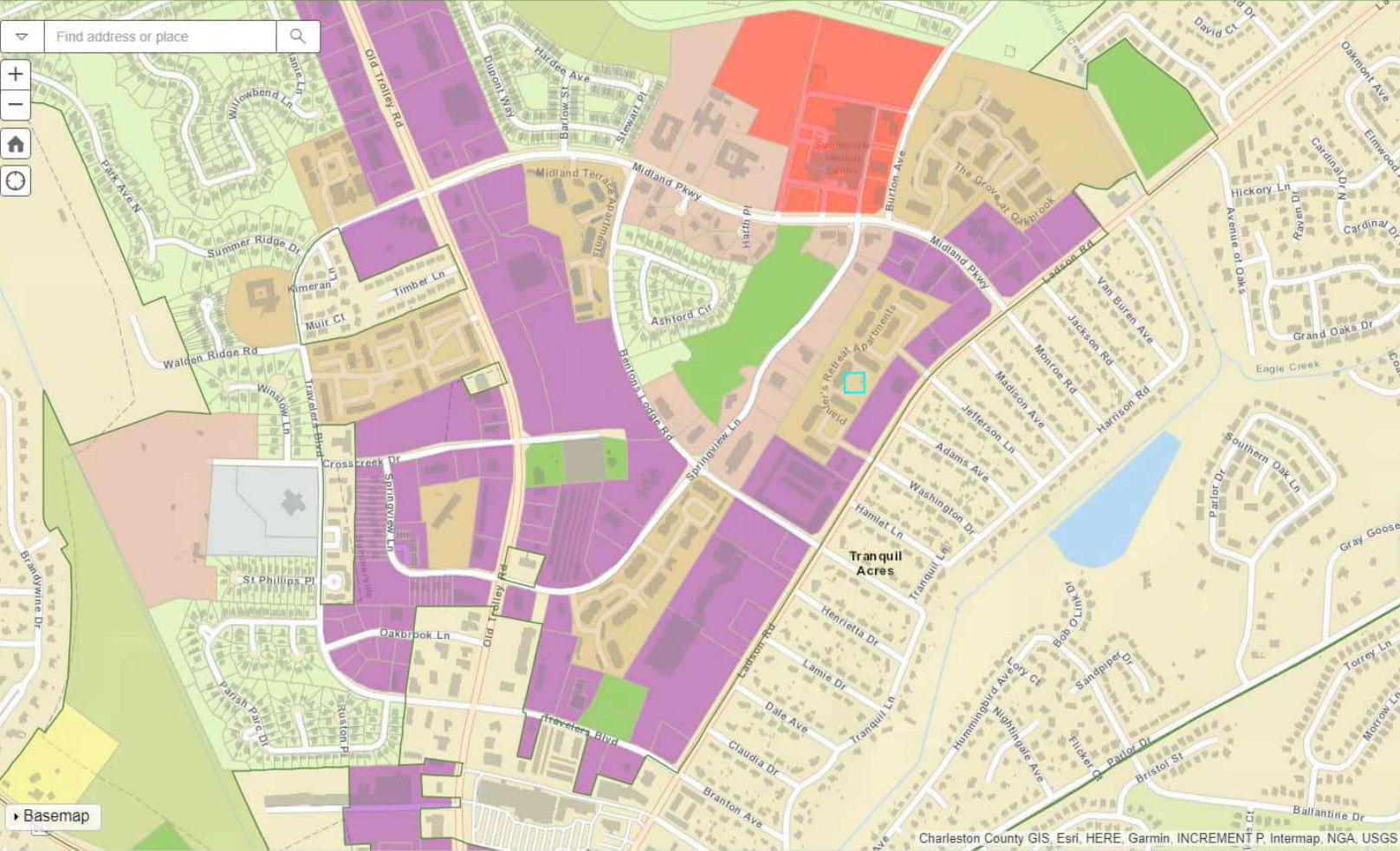
N/F
LOW COUNTRY BOYS LLC
DB 3321-189
PB K-59
TM# 162-01-14-002.000

N/F
UNIVERSITY MEDICAL A
OF MUSC
DB 10130-15
PB J-196
TM# 154-00-00-0





Town of Summerville Information Lookup



3.3 TABLE OF PERMITTED USES

	MIXED-USE DISTRICT STANDARDS				CONVENTIONAL DISTRICT STANDARDS							SPECIAL DISTRICT STANDARDS			
DISTRICT DESCRIPTION	Neighborhood Residential	Neighborhood Mixed-Use	Downtown Mixed-Use	Urban Corridor Mixed-Use	General Residential	General Residential	General Residential	Multi-Family Residential	Manufactured Home Parks	Neighborhood Business	General Business	Light Industrial	Heavy Industrial	Agricultural Conservation	Public Lands
DISTRICT	N-R	N-MX	D-MX	UC-MX	GR-2	GR-3	GR-5	MF-R	MH-R	N-B	G-B	L-I	H-I	AC	PL
PREVIOUS DISTRICTS	R-3 & R-5	B1 and some B2	CBD/B3	B3 (Re-development)	R-1	TBD	R-2 & R-3 (AS CU/SUP)	R-6	R-7	B-2	B-3	I-1	I-2	No Changes	No Changes
RESIDENTIAL															
Single Family Dwelling	P	P	P	P	P	P	P	P	P	P	C/E	C/E	C/E	P	—
Accessory Dwelling Unit	C	C	P	P	C	C	C	C	C	P	P	—	—	P	—
2-4 Unit Dwelling	P	P	P	P	—	—	—	P	P	P	P	—	—	—	—
Townhome	P	P	P	P	—	—	C	P	P	P	P	—	—	—	—
Multifamily Dwelling (5+ units/ bldg)	—	P	P	P	—	—	—	P	P	P	P	—	—	—	—
Manufactured Housing	C	—	—	—	—	—	—	—	C	—	—	—	—	—	—
Manufactured Home Park	—	—	—	—	—	—	—	—	C	—	—	—	—	—	—
Group Home (<9 residents)	P	P	P	P	P	P	P	P	P	P	P	—	—	—	—
Group Home (>9 residents)	—	P	P	P	—	—	—	C	P	P	P	—	—	—	—
Residential Care Facilities	—	C	C	C	—	—	—	C	C	C	C	—	—	—	—
LODGING															
Home Stay Bed and Breakfast (Up to 5 guest rooms)	C	P	P	P	C	C	C	C	—	P	P	—	—	P	—
Bed and Breakfast Inn (6-10 guest rooms)	C	C	P	P	—	—	—	C	—	P	P	—	—	P	—
Inn (Up to 24 Rooms)	—	C	P	P	—	—	—	—	—	P	P	—	—	—	—
Hotel/Extended Stay (No Room Limit)	—	—	C	C	—	—	—	—	—	—	P	P	—	—	—
Short Term Rental	C	C	P	P	C	SE	SE	C	C	P	P	—	—	—	—
Recreational Vehicle Park	—	—	—	—	—	—	—	—	P	—	P	P	—	—	—
P: Permitted Use C: Conditional Use SE: Special Exception E: in Existing Building Only RF: Retail Frontage Only — Prohibited use															

CERTIFICATE OF OCCUPANCY TOWN OF SUMMERVILLE

THIS CERTIFICATE ISSUED PURSUANT TO THE REQUIREMENTS OF SECTION 10
OF THE INTERNATIONAL BUILDING CODE CERTIFYING THAT AT THE TIME OF
ISSUANCE THIS STRUCTURE WAS IN COMPLIANCE WITH THE VARIOUS ORDINANCES
OF THE JURISDICTION REGULATING BUILDING CONSTRUCTION OR USE.
FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO. 20050538

PERMIT #: 20050538

DATE: 7/12/2006

SPECIAL CONDITIONS:

NONE BLDG. A

7/12/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160

AYNOR SC 29511

BUILDING ADDRESS:

4370 LADSON ROAD A

CONTRACTOR:

NORSOUTH CORP.

R. Palmer

Building Inspector
(Certified as to Building Construction)

CERTIFICATE OF OCCUPANCY TOWN OF SUMMERVILLE

THIS CERTIFICATE ISSUED PURSUANT TO THE REQUIREMENTS OF SECTION 10 OF THE INTERNATIONAL BUILDING CODE CERTIFYING THAT AT THE TIME OF ISSUANCE THIS STRUCTURE WAS IN COMPLIANCE WITH THE VARIOUS ORDINANCES OF THE JURISDICTION REGULATING BUILDING CONSTRUCTION OR USE. FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO. 20050547

PERMIT #: 20050547

DATE: 3/16/2006

SPECIAL CONDITIONS:

NONE
CO ISSUED 03/16/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B OCCUPANT LOAD:

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P O BOX 160
AYNOR SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD 8

CONTRACTOR:

NORSOUTH CORP.

R. Palmer

Building Inspector
(Certified as to Building Construction)

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CERTIFICATE OF OCCUPANCY NO. 20050541

PERMIT #: 20050541

DATE: 5/18/2006

SPECIAL CONDITIONS:

NONE - BLDG. C

5/18/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160
AYNOR, SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD, C.

CONTRACTOR:

NORSOUTH CORP.



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CERTIFICATE OF OCCUPANCY NO. 20050542

PERMIT #: 20050542

DATE: 5/09/2006

SPECIAL CONDITIONS:

NONE-BLDG. D
5/9/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160
AYNOR, SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD D

CONTRACTOR:

NORSOUTH CORP.



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FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO. 20050543

PERMIT #: 20050543

DATE: 4/24/2006

SPECIAL CONDITIONS:

NONE-BLDG. E
4/24/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

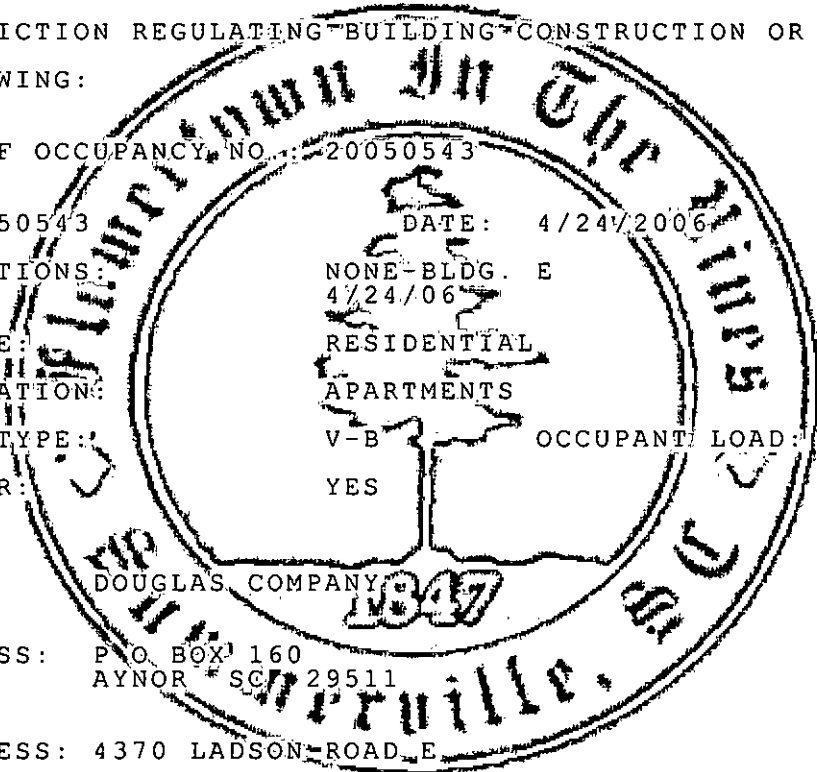
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P.O. BOX 160
AYNOR, SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD E

CONTRACTOR:

NORSOUTH CORP.



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FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO. 20050545

PERMIT #: 20050545

DATE: 4/06/2006

SPECIAL CONDITIONS:

NONE BLDG. F.
4/6/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160
AYNOR, SC 29511

BUILDING ADDRESS:

4370 LADSON ROAD E

CONTRACTOR:

NORSOUTH CORP.

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CERTIFICATE OF OCCUPANCY NO. 20050546

PERMIT #: 20050546

DATE: 4/05/2006

SPECIAL CONDITIONS:

NONE-BLDG. G
4/5/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

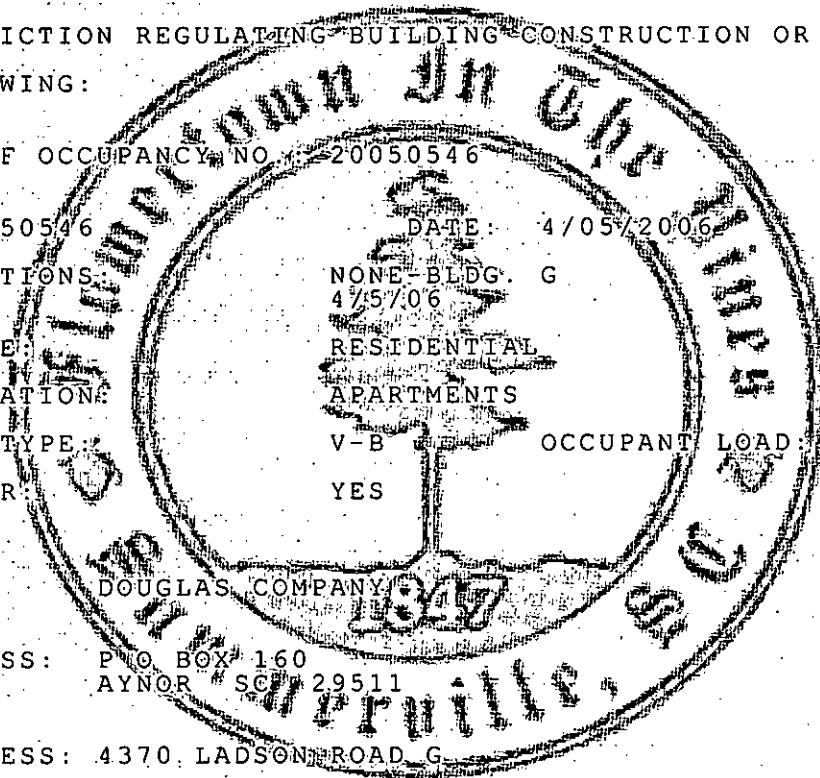
MAILING ADDRESS:

P.O. BOX 160
AYNOR, SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD, G

CONTRACTOR:

NORSOUTH CORP.



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OF THE JURISDICTION REGULATING BUILDING CONSTRUCTION OR USE.
FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO. 20050548

PERMIT #: 20050548

DATE: 3/03/2006

SPECIAL CONDITIONS:

NONE-BLDG. I
3/3/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160
AYNOR SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD 9

CONTRACTOR:

NORSOUTH CORP.



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(Certified as to Building Construction)

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OF THE JURISDICTION REGULATING BUILDING CONSTRUCTION OR USE.
FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO.: 20050551

PERMIT #: 20050551

DATE: 7/06/2006

SPECIAL CONDITIONS:

NONE-GAZEBO
7/6/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

UTILITY BUILDING

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

NO

OWNER:

DOUGLAS COMPANY

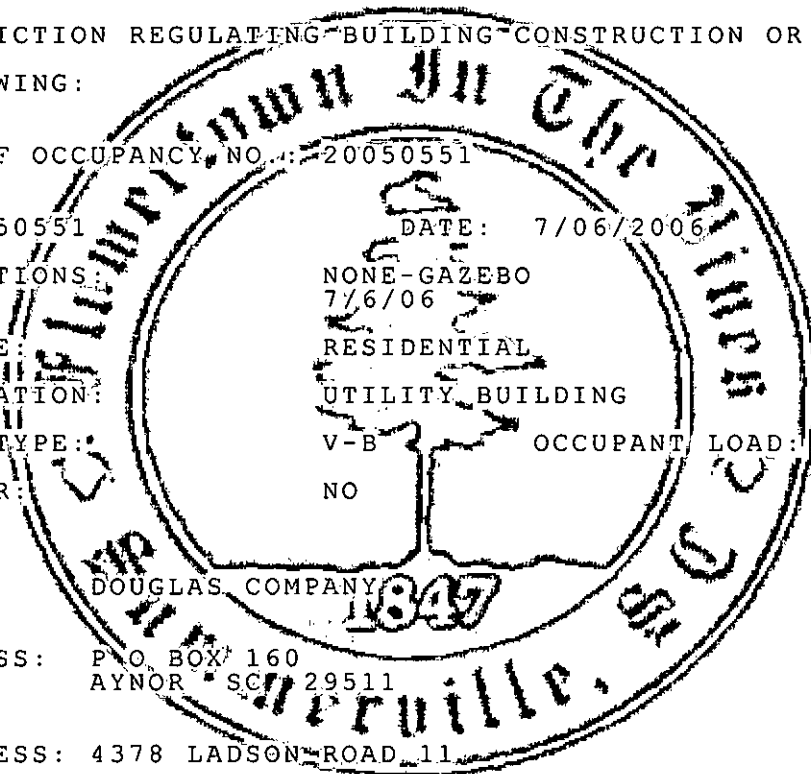
MAILING ADDRESS:

P.O. BOX 160
AYNOR, SC 29511

BUILDING ADDRESS: 4378 LADSON ROAD, 11

CONTRACTOR:

NORSOUTH CORP.



R. Palmer

Building Inspector
(Certified as to Building Construction)

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OF THE JURISDICTION REGULATING BUILDING CONSTRUCTION OR USE.
FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO.: 20050550

PERMIT #: 20050550

DATE: 2/17/2006

SPECIAL CONDITIONS:

NONE

2/17/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160
AYNOR SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD

CONTRACTOR:

NORSOUTH CORP.



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OF THE JURISDICTION REGULATING BUILDING CONSTRUCTION OR USE.
FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO. 20050540

PERMIT #: 20050540

DATE: 6/16/2006

SPECIAL CONDITIONS:

NONE
6/16/06

OCCUPANCY TYPE:

RESIDENTIAL

USE CLASSIFICATION:

APARTMENTS

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

YES

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160
AYNOR SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD, 2

CONTRACTOR:

NORSOUTH CORP.

R. Palmer

Building Inspector
(Certified as to Building Construction)

CERTIFICATE OF OCCUPANCY TOWN OF SUMMERVILLE

THIS CERTIFICATE ISSUED PURSUANT TO THE REQUIREMENTS OF SECTION 10
OF THE INTERNATIONAL BUILDING CODE CERTIFYING THAT AT THE TIME OF
ISSUANCE THIS STRUCTURE WAS IN COMPLIANCE WITH THE VARIOUS ORDINANCES
OF THE JURISDICTION REGULATING BUILDING CONSTRUCTION OR USE.
FOR THE FOLLOWING:

CERTIFICATE OF OCCUPANCY NO.: 20052386

PERMIT #: 20052386

DATE: 7/06/2006

SPECIAL CONDITIONS:

NONE-MATH KIOSK
7/6/06

OCCUPANCY TYPE:

UTILITY

USE CLASSIFICATION:

UTILITY BUILDING

CONSTRUCTION TYPE:

V-B

OCCUPANT LOAD:

AUTO SPRINKLER:

NO

OWNER:

DOUGLAS COMPANY

MAILING ADDRESS:

P.O. BOX 160
AYNOR SC 29511

BUILDING ADDRESS: 4370 LADSON ROAD

CONTRACTOR:

DOUGLAS COMPANY



Building Inspector
(Certified as to Building Construction)

Haynesworth Sinder Bond, PA
PO BOX 340
Charleston, SC 29402

BK 4475PG059

Planters Retreat Apartments Restrictive Cov.

FILED-RECORDED
RMC / ROD

STATE OF SOUTH CAROLINA

2004 DEC 21 PM 3:18

COUNTY OF DORCHESTER

AGREEMENT AS TO
RESTRICTIVE COVENANTS
(Planters Retreat Apartments)

LINDA T. HESSERVY

WHEREAS, PLANTERS RETREAT, LLC, a South Carolina limited liability company (the "Housing Sponsor"), has requested the South Carolina State Housing Finance and Development Authority (the "Authority") to issue its \$11,850,000 principal amount Multifamily Rental Housing Revenue Bonds (Planters Retreat Apartments Project), Series A (the "Bonds"), pursuant to that certain Trust Indenture dated as of December 1, 2004 (the "Indenture"), between the Authority and The Bank of New York, as trustee (the "Trustee") to assist it under the provisions of the South Carolina State Housing Finance and Development Authority Act of 1977, Act No. 76 of the Acts and Joint Resolutions of the General Assembly of 1977, as amended (the "Act"), by providing permanent financing at favorable rates to finance a mortgage loan, the proceeds of which will be used by the Housing Sponsor to acquire a parcel of land in Dorchester County, South Carolina land described in Exhibit A attached hereto, and by reference incorporated herein (the "Land") and construct, furnish and equip a 192-unit multifamily residential rental housing facility located in Summerville, South Carolina, known as Planters Retreat Apartments (the "Project"); and

WHEREAS, the Housing Sponsor has requested the Authority, and the Authority has agreed, to provide funds in order to cause MUNIMAE TE SUBSIDIARY, LLC. (the "Purchaser") to make a mortgage loan (the "Mortgage Loan") to the Housing Sponsor in order to acquire the Land and construct, furnish and equip the Project to provide rental housing for occupancy by persons and families of low or moderate to low income as defined in the Act (the "Beneficiary Classes"); and

WHEREAS, the Authority has issued the Bonds, the proceeds of which will be used to finance the making of Mortgage Loan by the Purchaser to the Housing Sponsor; and

WHEREAS, in order to induce the Authority and the Purchaser to finance the Mortgage Loan for the Project, and to satisfy the requirements under Section 142(d) of the Internal Revenue Code of 1986, as amended (the "Code") and the Regulations of the Department of Treasury promulgated with respect thereto (the "Regulations"), the Housing Sponsor is willing to subject the Project to certain conditions and restrictions which are contained in this Agreement; and

WHEREAS, the Housing Sponsor also will use federal low income housing tax credits to provide additional funds for the construction, furnishing and equipping of the Project; and

NOW, THEREFORE, in consideration of the assistance to be provided by the Authority and in compliance with the requirements of the Act, the Housing Sponsor hereby agrees and covenants with the Authority as of December 1, 2004 as follows:

1. Provision of Rental Housing. The Housing Sponsor agrees to provide and operate the Project for the purpose of providing housing for rental to members of the general public. This provision does not apply to any unit designated for occupancy by a resident manager or maintenance personnel employed by the Housing Sponsor.

The Housing Sponsor hereby declares that the Project, including the Land, and every part thereof is and shall be owned (legally and beneficially), leased, or otherwise conveyed, transferred, developed, rehabilitated, improved, built upon, occupied, or otherwise used, subject to the covenants and restrictions set forth herein (collectively, the "Covenants").

2. Binding Upon Project. The Housing Sponsor acknowledges that this Agreement is for the benefit of the Project and is in the nature of a covenant that runs with the Land and every part thereof so as to be binding upon it and all property owners, tenants, licensees, occupants, and their successors in interests with respect to the Land throughout the term specified in Section 10 hereof. The Housing Sponsor agrees to take such steps as are requested of it by the Authority to assure the intent of this paragraph, including, without limitation, the execution and recording of any instruments requested of it by the Authority and the inclusion of references hereto in any contract of sale or conveyance of the Project or any interest or management thereof.

3. Survival. Subject to Section 10 hereof, the Covenants of the Housing Sponsor set forth herein shall survive a sale, transfer, or other disposition of the Project, including the Land, by the Housing Sponsor or the repayment of the Mortgage Loan given by the Purchaser to the Housing Sponsor from any portion of the proceeds of the Bonds.

4. The Project. The Project shall consist of the Land and all improvements thereon and the renovation of the improvements and facilities described in the initial recital of this Agreement as to Restrictive Covenants.

(a) Components of the Project. The Project will consist of an apartment complex, consisting of a building or structure or several proximate and interrelated buildings or structures and facilities functionally related and subordinated thereto and:

(i) each containing one or more similarly constructed units, having separate and complete facilities for living, sleeping, eating, cooking and sanitation for a single person or a family, and facilities which are functionally related and subordinate to such units; and

(ii) all of the units of which will, on a continuous basis, be rented or available on a non-transient basis for rental to members of the general public.

(b) Construction and Completion. The Housing Sponsor will use the proceeds of the Mortgage Loan for the cost of acquiring the Land and constructing, furnishing and equipping the Project no later than December 15, 2007.

(c) Change of Project. Unless the Housing Sponsor first procures the written consent of the Authority, the Housing Sponsor will make no change in the nature, size (including number of units), or location of the Project from that which was described in a Notice of Public Hearing dated September 21, 2004, without the prior written consent of the Authority.

5. Rental Procedures and Certain Fees.

(a) Applications. The Housing Sponsor shall require all applicants for rental of any unit in the Project to provide information on forms approved by the Authority as to the aggregate gross income of all of the occupants of such unit. The Housing Sponsor shall adopt procedures specified or approved by the Authority to verify the accuracy of the information contained on such applications. Applications shall be required of any occupant upon the conclusion of the maximum lease term permitted hereunder, as if such occupant were a new tenant.

(b) Rental to Members of Beneficiary Class. So long as any of the Bonds are unpaid, all units in the Project shall be rented to persons or families within the Beneficiary Class ("*Qualified Tenants*"). From time to time the Authority shall advise the Housing Sponsor in writing with a copy to MuniMae Portfolio Services, LLC (the "*Servicing Agent*") of the qualifications for such Beneficiary Class. In the

event a unit is rented to a Qualified Tenant, such person shall be deemed to remain a Qualified Tenant throughout the maximum term of lease provided herein notwithstanding any changes in qualifications or income of such person. This provision does not apply to any unit designated for occupancy by a resident manager, or maintenance personnel employed by the Housing Sponsor.

(c) Low or Moderate Income Occupancy Requirement. At least 40% of the completed dwelling units in the Project shall be occupied continuously, during the period beginning on the 1st day on which ten (10%) percent of the residential units in the Project are occupied and ending on the latest of: (i) the date which is 15 years after the date on which fifty (50%) percent of the residential units in the Project are occupied; (ii) the 1st day on which no tax-exempt private activity bond issued with respect to the Project is outstanding; or (iii) the date on which any assistance provided with respect to the Project under Section 8 of the United States Housing Act of 1937 terminates (the "**Qualified Project Period**"), by individuals ("**Federal Low Income Tenants**") whose total aggregate income at the time of initial occupancy does not exceed 60% of the Area Median Gross Income ("**Federal Income Test**"), and the Housing Sponsor and the Authority hereby elect to apply the provisions of Section 142(d)(1)(B) of the Code to the Project. "**Area Median Gross Income**" means the median income in the geographic area in which the Project is located, as determined annually by the Secretary of the Treasury in a manner consistent with determination of lower income facilities and area median gross income under Section 8 of the United States Housing Act of 1937, as amended, (or, if programs under Section 8 are terminated, under such program in effect immediately before such termination) with appropriate adjustments to income level made for family size, all as provided in Section 142(d)(2)(B) of the Code.

However, if all the occupants of a residential unit are Students, no one of whom is entitled to file a joint return under Section 6013 of the Code, such individuals may not be treated as Federal Low Income Tenants. "**Student**" means any individual who during each of five (5) calendar months during the calendar year is a full-time student at an organization that normally maintains a regular faculty and curriculum and normally has a regularly enrolled body of students in attendance at the place where its educational activities are regularly carried on, as described in Section 170(b)(1)(A)(ii) of the Code (an "**Educational Organization**") or if such persons are pursuing a full time course of institutional on-farm training under the supervision of an Educational Organization or of a state or political subdivision thereof, as described in Section 151(c)(4) of the Code.

A unit occupied by an individual or family who, at the commencement of the occupancy, was a Federal Low Income Tenant shall be treated as occupied by Federal Low Income Tenants during such individual's or family's tenancy in such unit, even though the individual or family subsequently ceases to meet Federal Income Test. The preceding sentence shall cease to apply to any tenant(s) whose income as of the most recent annual determination under Section 142(d)(3)(A) of the Code exceeds 140% of the Federal Income Test if, after such determination, but before the next determination, any residential unit of comparable or smaller size in the Project is occupied by a new resident whose income exceeds the Federal Income Test. In addition, a vacant unit shall be treated as occupied by a Federal Low Income Tenant until re-occupied, other than for a temporary period, by another occupant, at which time the character of the unit shall be re-determined by the new occupant's income. In no event shall a temporary period exceed 31 days. In order to comply with the provisions hereof, it is understood that it may become necessary to hold a unit vacant until it can be re-occupied by a Federal Low Income Tenant.

Notwithstanding the foregoing, at the conclusion of the maximum term provided for in paragraph (e) of Section 5, a person who continues to qualify as a Federal Low Income Tenant but who is not a member of the Beneficiary Class will not be a Qualified Tenant entitled to rent a unit in the Project.

(d) Provisions in Leases. (i) Every agreement entered into after the date of the closing pursuant to which any unit is leased or to be occupied shall contain a requirement that the tenant notify the Housing Sponsor of any change in the number of persons occupying such unit.

(ii) Every agreement entered into after the date of the closing pursuant to which any unit is leased to or occupied by a person or family of low to moderate income shall contain and be deemed to contain the following additional provisions:

(1) "The unit covered hereby shall not be subleased nor shall this lease be assigned. This lease shall be subject to termination in accordance with applicable State Law."

(2) "The Tenant acknowledges that occupancy of this unit is restricted to persons or families who at the time of initial occupancy are of low or moderate income. In the event the tenant is discovered not to have met such limitation at the date of initial occupancy; this lease shall be terminated by the Landlord or the South Carolina State Housing Finance and Development Authority in accordance with applicable State Law. The Tenant agrees to provide the Landlord with a statement of current income at least annually and to provide such evidence as may be deemed necessary and appropriate to document such statement of income".

(e) Term of Leases. The Housing Sponsor agrees that no unit shall be rented or leased for a term (including extensions, renewals or holdovers) in excess of three years from the date of initial occupancy by a tenant who is a member of the Beneficiary Classes or one year from the date of initial occupancy by any Non-Qualified Tenant (as hereinafter defined).

(f) Rental to Non-Qualified Tenants. In the event a unit is vacant, has remained so for a period of 30 days and no Qualified Tenant has applied to lease such unit at the prices established by the Housing Sponsor, the Housing Sponsor may lease such unit to a person who is not in either of the Beneficiary Classes or a Federal Low Income Tenant ("Non-Qualified Tenant"); provided that the term of such lease shall be for the one year term specified in paragraph (e) of this Section 5 or, if less, the minimum term then being offered by the Housing Sponsor to other tenants; and provided further that at the conclusion of such term the Non-Qualified Tenant agrees to vacate the unit if there are any members of the Beneficiary Classes on the Project's waiting list who are able, within a reasonable time, to occupy the unit. This provision shall be applicable only to the units held for rental by members of the Beneficiary Classes who are not Federal Low Income Tenants and shall not be construed so as to excuse the Housing Sponsor from meeting the requirements of paragraph (c) of this Section 5 with respect to Federal Low Income Tenants at all times.

(g) Certification of Income. As a condition of occupancy, each Federal Low Income Tenant shall be required to sign and deliver to the Housing Sponsor a Certification of Adjusted Income, in the form provided by the Authority, and the Housing Sponsor shall, promptly upon receipt (or within five business days thereafter), file a copy of such certification with the Authority and the Servicing Agent. Such tenant shall also be required to provide whatever other information, documents, or certifications are deemed necessary by the Housing Sponsor, the Authority or the Servicing Agent to substantiate the certification. All certifications of adjusted income with respect to each Federal Low Income Tenant in the Project during the immediately preceding calendar year shall be maintained on file at the main business office of the Project.

(h) Marketing--Waiting Lists. The Housing Sponsor agrees to take reasonable steps to notify the public that units in the Project are available for Qualified Tenants and to maintain a waiting list of

applicants who are Qualified Tenants for the purpose of ensuring maximum occupancy of the Project by Qualified Tenants.

(i) Annual Certification. The Housing Sponsor agrees to prepare and annually file (or to cause the manager of the Project to prepare and annually file) a certification that the Project complies with the requirements of Section 142(d) of the Code, or that the Project fails to so qualify, with the Internal Revenue Service on the appropriate form developed therefor (currently *Form 8703* due March 31 of each calendar year) and to provide the Authority and the Servicing Agent with a copy of such form and proof of the timely filing thereof.

6. Record Keeping, Reporting and Inspection. The Housing Sponsor covenants that it will maintain records at the Project regarding compliance with these Covenants and will file or cause to be filed all reports required to be filed by the owner and operator of the Project under the Code and the Regulations, including, without limitation, Section 142(d)(7) of the Code. Such records shall be maintained in the format prescribed by the Authority and shall contain such information as to the occupants of the units designated for Federal Low Income Tenants as may be necessary to determine compliance with the provisions of the Code as well as compliance with the Act. The Housing Sponsor acknowledges that failure to file such certification with the Secretary of the Treasury shall subject the Housing Sponsor to penalty, as provided by the Code.

The Authority and the Servicing Agent shall be permitted to inspect such records and the Project at all reasonable times. Such inspection shall be for the purpose of verifying the accuracy of such records and the reports made to the Authority and the Servicing Agent.

The Housing Sponsor shall report to the Authority monthly with the information about the Project, its occupants and the income of its occupants, as necessary, to enable the Authority to monitor compliance with these Covenants, including without limitation, compliance with Section 142(d) of the Code, as well as compliance with the Act. Such reports shall be in such form as is prescribed by the Authority. The Housing Sponsor agrees that the Authority may contact any tenant in the Project for the purpose of verifying the accuracy of such records.

At the time of any proposed rent increase pursuant to Section 8 of this Agreement, the Housing Sponsor shall furnish financial records to the Authority containing information on revenues and expenditures of the Project, including information relating to the effect of such increase, in such form as the Authority may reasonably require. The Housing Sponsor shall provide the Authority an annual financial report as to the Housing Sponsor containing a balance sheet and a statement of income and expenses, all prepared in conformity with generally accepted accounting principles.

7. Default; Corrective Action. In the event the Authority detects noncompliance with Section 5 hereof and the owner or the manager of the Project (the "*Manager*") does not immediately upon notification by the Authority take steps to correct such noncompliance, the Authority may terminate, in accordance with applicable State and Federal law, any lease resulting in such noncompliance and require the Housing Sponsor or its Manager to relet or arrange for the releasing of any dwelling unit necessary to re-establish compliance herewith.

8. Rents and Other Charges.

(a) The maximum monthly rental for any unit required to be occupied by Federal Low Income Tenants shall not exceed the maximum monthly rent permitted to be charged pursuant to Section 42 of the Code for a rental unit containing the same number of bedrooms.

(b) At or before the execution hereof, the Housing Sponsor shall provide the Authority with a schedule of the rents expected to be charged for each unit in the Project to be occupied by the Federal Low Income Tenants. The Housing Sponsor may thereafter change the schedule of rents from time to time only upon thirty days written notice to the Authority accompanied by a certification that rents per unit under the proposed rent schedule will not exceed the maximum amounts provided for in these Covenants and that all statements contained in the notification are true and correct.

(c) The rental charged to any particular tenant or the occupants of any unit shall not be changed during the term of any lease thereof (treating each extension as a separate lease) thereof unless the unit covered by any particular lease is vacated during the term thereof.

9. Management Agreements. In the event that the Housing Sponsor enters into any agreement for the management of the Project, such agreement shall contain provisions authorizing the termination thereof at the direction of the Authority solely for cause; cause for termination shall be deemed to exist upon the Authority's determination in writing of the failure of such Manager to comply with any material provision hereof. The Authority shall provide the Housing Sponsor and the Servicing Agent written notice of its intention to remove the Manager and its reasons for removing the Manager at least 30 days prior to exercising its removal rights under this Section. Upon receipt of such notification and subsequent removal of the Manager, the Housing Sponsor shall make arrangements satisfactory to the Authority in its discretion, for the continuing proper management of the Project.

The Housing Sponsor shall give the Authority 10 days' advance notice of the identity of any proposed replacement Manager and shall obtain the Authority's prior written consent to the new Manager, which consent shall not unreasonably be withheld, conditioned, or delayed. If the Housing Sponsor fails to hire an approved replacement Manager approved by the Servicing Agent within 30 days of the termination, the Authority shall have the right to contract with a replacement Manager on behalf of the Housing Sponsor and shall notify the Housing Sponsor and the Servicing Agent of the identity of the replacement manager. The Authority shall have no liability for the selection or failure to select a replacement Manager under this Section.

Within 10 business days after the termination of the Manager's right to manage the Project, the Manager shall account to the Housing Sponsor with respect to all matters outstanding as of the date of termination and shall turn over to the Housing Sponsor or a successor Manager approved by the Authority all records, documents, or other instruments, waiting lists, and all other files and papers in its possession pertaining to the Manager's management of the Project.

Any subsequent Manager shall be subject to the terms of this Agreement.

10. Duration and Modification.

(a) Duration. Unless terminated sooner pursuant to Section 10(b) hereof, these Covenants shall continue and remain in full force and effect at all times with respect to the Project, including the Land, and each part thereof, so long as any part of the indebtedness represented by the Bonds remains outstanding and during the Qualified Project Period.

(b) Early Termination. The requirements of these Covenants shall cease to apply to the Project in the event of involuntary noncompliance caused by fire, seizure, requisition, foreclosure, transfer of title by deed in lieu of foreclosure, change in a federal law or an action of a federal agency after the date of issue of the Bonds which prevents the Authority from enforcing the Regulations or these Covenants, or condemnation or similar event but only if, within a reasonable period, the Bonds are retired or the amounts received as a consequence of such event are used to provide a project which meets the

requirement of Section 1.103-8(b)(6)(iii)(a) of the Regulations. The termination provision of the first sentence of this Section 10(b) shall cease to apply in the event of foreclosure, transfer of title by deed in lieu of foreclosure, or similar event, if, at any time during that part of the Qualified Project Period subsequent to such event, the Housing Sponsor or other "*obligor on the acquired purpose obligation*" (within the meaning of Section 1.103-13(b)(iv)(4)(A) of the Regulations) or a "*related person*" (within the meaning of Section 1.103-10(e) of the Regulations) obtains an ownership interest in the Project for tax purposes.

(c) Modification or Release. Upon payment in full of the Bonds and upon expiration of the Qualified Project Period, the Authority shall execute an instrument in recordable form to such effect, as evidence of termination of this Agreement under Section 10(a) above. Otherwise, these Covenants may only be modified, amended, altered, or released by an instrument in writing executed by the Authority. Notice of such modification shall be given by the Authority to the Servicing Agent.

11. Special Tax Covenants. The Housing Sponsor and the Authority, subject to the provisions of the Loan Agreement, each hereby represents, warrants and agrees that to the best of its ability:

(a) It will not take or permit, or omit to take or cause to be taken, as is appropriate, any action that would adversely affect the exemption from federal income taxation of the interest on the Bonds and, if it should take or permit, or omit to take or cause to be taken, any such action, it will take all lawful actions necessary to rescind or correct such actions or omission promptly upon obtaining knowledge thereof.

(b) It will take such action or actions as may be necessary in the written opinion of Bond Counsel filed with the Authority, the Housing Sponsor, and the Trustee or its successors and the Servicing Agent to comply fully with all applicable rules, rulings, policies, procedures, Regulations, or other official statements promulgated, proposed, or made by the United States Department of the Treasury or the Internal Revenue Service pertaining to obligations, the interest on which is excluded from gross income under the Code; and

(c) It will file or record such documents and take such other steps as are necessary, in the written opinion of Bond Counsel filed with the Authority, the Housing Sponsor and the Trustee, in order to ensure that the requirements and restrictions of this Agreement will be binding upon all owners of the Project, including, but not limited to, the execution and recordation of this Agreement in the real property records of the county in which the Project is located.

The Housing Sponsor shall notify the Trustee, the Authority and the Servicing Agent of the occurrence of any event of which the Housing Sponsor has notice and which event, to the knowledge of the Housing Sponsor, would cause the interest on the Bonds to become subject to federal income taxation.

12. Legal Action Upon Violation. Violation of any of these Covenants may be enjoined, abated, restrained, or otherwise remedied by appropriate legal or equitable proceedings. In the event of proceedings brought by any party or parties to enforce or restrain violation of any of these Covenants, or to determine the rights or duties of any person hereunder, the prevailing party in such proceedings may recover reasonable attorney's fees to be fixed by the court, in addition to court costs and any other relief awarded by the court in such proceedings. However, enforcement of these covenants shall not result in any claim against the mortgaged property, the mortgage proceeds of the Mortgage Loan, any reserve or deposit made with the Mortgagee or any other person or entity in connection with the Mortgage Loan or against the rents or other income or revenues of the Project, Project Assets or any income or other property of the Housing Sponsor or its partners.

13. Enforceability. The Covenants shall bind the Housing Sponsor and its heirs, successors, and assigns, and shall inure to the benefit of and be enforceable by the Authority and its successors and assigns. The failure of the Authority to enforce any of the Covenants shall not be deemed a waiver of the right to enforce the same thereafter. There shall be no waiver of any of the Covenants except in accordance with Section 10(c) hereof. The Housing Sponsor and the Authority each acknowledges that a primary purpose for requiring compliance by the Housing Sponsor with this Agreement is to preserve the excludability from gross income for federal income tax purposes of interest on the Bonds, and that the Trustee, on behalf of the holders of the Bonds, who are declared to be third party beneficiaries of this Agreement, shall upon any breach of the provisions hereof, be entitled to exercise the remedies available in this Agreement.

14. Grantee's Covenants. Each grantee accepting a deed, lease, or other instrument conveying any interest in the Project, including the Land, whether or not the same incorporates or refers to this Agreement, covenants for himself, his heirs, successors and assigns to observe, perform and be bound by the Covenants and to incorporate the same by reference in any instrument of conveyance, subject to the provisions of Section 10(b) hereof.

15. Certain Transferees Not Bound. Any person who acquires the Project, including the Land, or any part thereof as a consequence of a foreclosure of the Mortgage Loan or after a deed in lieu of foreclosure, or after an early termination as described in Section 10(b) hereof shall take free and clear of the Covenants, as provided in Section 10.

16. Change in Regulations. The Housing Sponsor acknowledges that this Agreement is based upon the Code and Regulations as they exist on the date hereof and that the Code and Regulations may be subsequently modified or interpreted by the Code and federal government in a manner inconsistent with the Covenants set forth herein. The Housing Sponsor agrees to comply with any additional covenant and restriction which the Authority believes, upon the written advice of counsel furnished to the Housing Sponsor, the Authority and the Servicing Agent, is necessary to insure the tax-exempt status of the interest on the Bonds and which is communicated in writing to the Housing Sponsor, even though such covenant or restriction is not a part of this Agreement as originally executed; provided, however, that if counsel for the Housing Sponsor disagrees with the advice of counsel for the Authority, Housing Sponsor shall have the right at its own expense to proceed with obtaining a favorable ruling from the Internal Revenue Service or such court interpretation which the Housing Sponsor deems advisable and in its best interest and the Authority agrees to cooperate with the Housing Sponsor in this regard, so long as the Housing Sponsor bears the Authority's expense in obtaining such ruling or interpretation. In such event, such additional covenant or restriction shall be considered a material part of this Agreement as if it had been originally included herein.

17. Recording of Agreement. The Housing Sponsor shall cause this Agreement, and all amendments and supplements hereto, to be recorded and filed in the conveyance and real property records of the county in which the Project is located and in such other place as the Authority may reasonably request. The Housing Sponsor shall pay all fees and charges incurred in connection with any such recording. Any subsequent amendment to this document is subject to prior HUD approval.

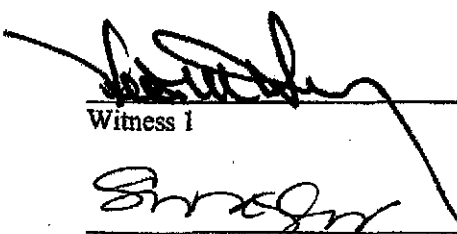
18. State Law. These Covenants shall be construed in accordance with and governed by the laws of the State of South Carolina.

19. Federal Tax Credits. The Housing Sponsor agrees that it will cause to be located in the official land records of the county in which the Project is located an Extended Use Agreement in form and substance acceptable to the South Carolina State Housing Finance and Development Authority if

necessary to allow the Housing Sponsor to receive low-income housing tax credits available under Section 42 of the Code.

20. Gender and Number; Definitions. All pronouns used herein shall be deemed to include the masculine, the feminine and non-personal entities, as well as the singular and plural wherever the context requires or permits. Unless the context clearly indicates otherwise, any terms not defined in this Agreement but defined in the Indenture or the Loan Agreement shall have the meanings given such terms in the Indenture or the Loan Agreement, or if defined in the Code or the Regulations shall have the meanings given such terms in the Code or the Regulations thereunder.

21. Effect of Headings. These heading of the sections herein are for convenience only and shall not affect the meanings of interpretation of the contents thereof.



Witness 1



Witness 2

**SOUTH CAROLINA STATE HOUSING FINANCE
AND DEVELOPMENT AUTHORITY**

By: 

Executive Director/Secretary:



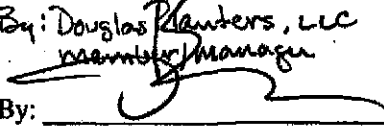
Witness 1



Witness 2

PLANTERS RETREAT, LLC,

By: Douglas Planters, LLC
member/manager

By: 

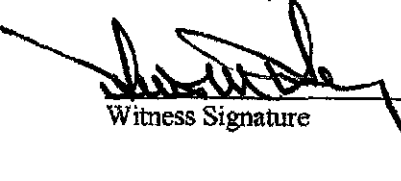
Name: David D. Douglas
Title: member/manager

STATE OF SOUTH CAROLINA)


COUNTY OF RICHLAND)

PROBATE

PERSONALLY appeared before me the undersigned witness and made oath that (s)he saw the within-named South Carolina State Housing Finance and Development Authority, by its Executive Director/Secretary, sign, seal, and as its act and deed deliver the within-named agreement as to restrictive covenants, and that (s)he, together with the other witness, witnessed the execution thereof.


Witness Signature

Sworn To Before Me This 20th
Day Of December, 2004.


(L.S.)
Notary Public For South Carolina
My Commission Expires: 2/8/2010

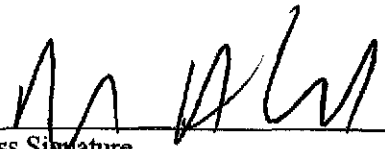
STATE OF SOUTH CAROLINA)

COUNTY OF RICHLAND)


PROBATE

by Douglas Planters, LLC, Inc.

Personally appeared before me the undersigned witness and made oath that (s)he saw the within-named Planters Retreat, LLC, by David Douglas, sign, seal, and as its act and deed deliver the within-named Agreement as to Restrictive Covenants, and that (s)he, together with the other witness, witnessed the execution thereof.


Witness Signature

Sworn to before me this 20th
day of December, 2004.


(L.S.)
Notary Public for South Carolina
My Commission Expires: 2/8/2010

LEGAL DESCRIPTION:

ALL that certain piece, parcel or lot of land situate, lying and being in the Town of Summerville, Dorchester County, South Carolina, shown as designated as "Lot 1, 585,111 SF, 13.43 AC" on a plat entitled: "SUBDIVISION SURVEY, TMS#162-01-14-005 TO BE CONVEYED TO PLANTERS RETREAT, LLC, TOWN OF SUMMERVILLE, DORCHESTER COUNTY, SOUTH CAROLINA," made by Ashley Engineering & Surveying, Inc, dated November 29, 2004, and recorded December 3, 2004, in Plat Book K, Page 126, Register of Deeds for Dorchester County, S. C.

BEGINNING AT A NAIL FOUND AT THE INTERSECTION OF THE CENTER LINE OF LADSON ROAD WITH THE CENTERLINE OF WASHINGTON DRIVE (A 50-FOOT PUBLIC RIGHT OF WAY), THE POINT OF COMMENCEMENT, THENCE S82°36'01"W 64.59 FEET TO A 5/8" REBAR FOUND IN THE NORTHWESTERLY MARGIN OF THE RIGHT OF WAY OF LADSON ROAD (A 102.5-FOOT PUBLIC RIGHT OF WAY), THE POINT OF BEGINNING;

THENCE FROM SAID POINT OF BEGINNING ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 2) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 16.00 FEET AND A CHORD BEARING AND DISTANCE OF N13°04'37"W 22.61 FEET, AND ARC LENGTH OF 25.10 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 2) N58°01'38"W 8.96 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 2) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 110.57 FEET AND A CHORD BEARING AND DISTANCE OF N68°43'28"W 40.40 FEET, AND ARC LENGTH OF 40.63 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 2) WITH THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 107.56 FEET AND A CHORD BEARING AND DISTANCE OF S68°47'18"E 40.17 FEET, AND ARC LENGTH OF 40.41 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 2) N58°01'38"W 107.73 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 2) S31°52'24"W 165.87 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SUMMERVILLE STORAGE ASSOCIATES N58°07'36"W 402.89 FEET TO A CALCULATED POINT, REFERENCED BY A 5/8" REBAR FOUND ON A 30.00' OFFSET; THENCE ALONG PROPERTY OF LOW COUNTRY BOYS, LLC, W.R. ANDERSON, OAKBROOK MEDICAL PROPERTIES, JASMAR & ASSOC., LLC, AND MEDICAL PLAZA ASSOC., LLC N31°42'38"E 1289.41 FEET TO A CALCULATED POINT, REFERENCED BY A 1" PINCHED OFF PIPE FOUND ON A 29.61' OFFSET; THENCE ALONG PROPERTY OF MARK J. MCCALL S61°53'47"E 222.43 FEET TO A 1" PINCHED OFF PIPE FOUND; THENCE ALONG PROPERTY OF MARK J. MCCALL S69°23'09"E 153.44 FEET TO A 1" PINCHED OFF PIPE FOUND; THENCE ALONG PROPERTY OF WHITFIELD COMPANY S66°32'24"E 182.45 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 4) S50°54'59"W 161.16 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 4) WITH THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 1713.73 FEET AND A CHORD BEARING AND DISTANCE OF S46°22'48"W 271.09 FEET, AND ARC LENGTH OF 271.37 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS,

OK 4475PG071

INC. (LOT 4) S49°31'34"E 196.43 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 4) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT A RADIUS OF 16.00 FEET AND A CHORD BEARING AND DISTANCE OF N86°32'57"E 22.20 FEET, AND ARC LENGTH OF 24.53 FEET TO A 5/8" REBAR FOUND; THENCE ALONG THE NORTHWESTERLY MARGIN OF THE RIGHT OF WAY OF LADSON ROAD WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 1465.05 FEET AND A CHORD BEARING AND DISTANCE OF S41°04'36"W 81.14 FEET, AND ARC LENGTH OF 81.15 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT A RADIUS OF 16.00 FEET AND A CHORD BEARING AND DISTANCE OF N04°59'55"W 22.44 FEET, AND ARC LENGTH OF 24.87 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) S40°28'26"W 12.00 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) N49°31'34"W 15.00 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) N40°28'26"E 12.00 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) N49°31'34"W 181.03 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT A RADIUS OF 1713.73 FEET AND A CHORD BEARING AND DISTANCE OF S36°01'21"W 247.99 FEET, AND ARC LENGTH OF 248.20 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) S31°52'24"W 433.32 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) S58°01'38"E 107.75 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT A RADIUS OF 107.93 FEET AND A CHORD BEARING AND DISTANCE OF S68°47'18"E 40.17 FEET, AND ARC LENGTH OF 40.40 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) WITH THE ARC OF A CIRCULAR CURVE TO THE RIGHT A RADIUS OF 107.56 FEET AND A CHORD BEARING AND DISTANCE OF N68°43'28"W 40.40 FEET, AND ARC LENGTH OF 40.65 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) S58°01'38"E 8.88 FEET TO A 5/8" REBAR FOUND; THENCE ALONG PROPERTY OF SOUTHERN WELLS, INC. (LOT 3) WITH THE ARC OF A CIRCULAR CURVE TO THE LEFT A RADIUS OF 16.00 FEET AND A CHORD BEARING AND DISTANCE OF N76°55'23"E 22.65 FEET, AND ARC LENGTH OF 25.16 FEET TO A 5/8" REBAR FOUND; THENCE ALONG THE NORTHWESTERLY MARGIN OF THE RIGHT OF WAY OF LADSON ROAD 3 S31°52'24"W 82.00 FEET TO THE POINT AND PLACE OF BEGINNING.

STATE OF SOUTH CAROLINA
COUNTY OF DORCHESTER
Filed for record this 21st
Day of Dec. 2004
at 3:18 P. M and recorder
in book 4475 page 39
LINDA T MESSERVY
REGISTER OF MESNE CONVEYANCES

BK 5897PG293

FILED-RECORDED
RMC / ROD

2007 MAR -7 AM 11:30

MARGARET L. BAILEY
DORCHESTER COUNTY, SC



THIS PAGE IS HEREBY ATTACHED AND MADE PART OF
THE PERMANENT RECORD OF THIS DOCUMENT. IT IS
NOT TO BE DETACHED OR REMOVED AND MUST BE
CITED AS THE FIRST PAGE OF THE RECORDED
DOCUMENT. THE TOP OF THE PAGE IS TO BE USED FOR
RECORDING PURPOSES AND IS NOT TO BE USED FOR
ANY OTHER PURPOSE.

REGISTER OF DEEDS
DORCHESTER COUNTY SOUTH CAROLINA
MARGARET L. BAILEY, REGISTER
POST OFFICE BOX 38
ST. GEORGE, SC 29477
843-563-0181 or 843-832-0181

COUNTY OF DORCHESTER

any building in the Project is

Joett Searcy, LLP
3710 Landmark Dr.
Ste 309
Colum, SC 29204

placed in service and shall end on the latest of (i) the date which is 15 years after the close of the Compliance Period, (ii) the date on which the last of the indebtedness represented by the Bonds used to finance the Project has been paid, or (iii) the end of the Qualified Project Period. Notwithstanding the following provision, the Housing Sponsor shall comply with the provisions of Section 42 of the Code relating to extended use for an additional 15 years, provided, however, that the extended use period for any building shall terminate on the date any such building is acquired by foreclosure (or by any instrument in lieu of foreclosure), or on the last day of the one year period beginning on the date (after the 14th year of the Compliance Period) the Housing Sponsor submits a written request that the Authority find a person to acquire the Housing Sponsor's interest in any such building who will agree to continue to operate such building as a qualified Low Income building, and the Authority has been unable to locate such a purchaser. Provided, further, that the rent restrictions contained in Section 42 of the Code shall continue for the extended use period and for a period of three years following the termination of the extended use period pursuant to the preceding sentence. During the extended use period and for the three year period thereafter, no Low Income tenant residing in such building shall be evicted other than for good cause and the gross rent charged for any Low Income unit shall not be increased above the maximum allowed under the Code for such Low Income unit."

5. The phrase "Notwithstanding any other provision hereof" contained in the first sentence of subsection 10(b) is deleted and the phrase "Subject to the provisions stated above" is substituted therefore.
6. Except as modified by this Amendment, all of the terms and conditions of the said Agreement As To Restrictive Covenants shall remain of full force and effect.

IN WITNESS WHEREOF, the parties have set their hands as of this 8th day of December, 2006.

WITNESS:

Pamela Lanning

Mayla Brown

Planters Retreat, LLC
By: Douglas Planters, LLC
Its: Member Manager

By: [Signature]

Its: Member / MANAGER

WITNESS:

Sandra Jackson
Jay Ragan

SOUTH CAROLINA STATE HOUSING
FINANCE AND DEVELOPMENT
AUTHORITY

By: [Signature]

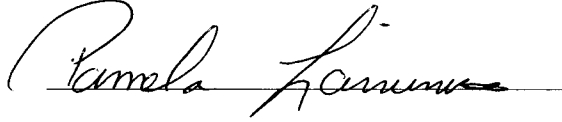
Valarie M. Williams

Its: Deputy Director for Programs

STATE OF SOUTH CAROLINA)
)
 COUNTY OF HORRY)

PROBATE

PERSONALLY appeared before me the undersigned witness and made oath that 3 he saw the within-named Planters Retreat, LLC, by Douglas Planters, LLC its Member Manager by DAVID D. DOUGLAS, its member/ MANAGER, sign, seal, and as its act and deed deliver the within-named Agreement As To Restrictive Covenants, and that he, together with the other witness witnessed the execution thereof.



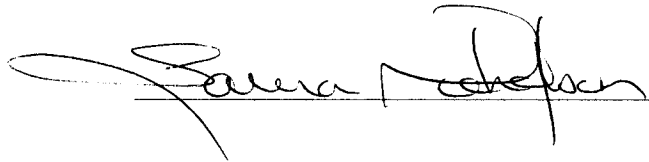
SWORN to before me this 21st
 day of February, 2007.

Maylene Brown (L.S.)
 Notary Public for S.C.
 My Commission Expires: 6/25/2012

STATE OF SOUTH CAROLINA)
)
 COUNTY OF LEXINGTON)

PROBATE

PERSONALLY appeared before me the undersigned witness and made oath that S he saw the within-named South Carolina State Housing Finance and Development Authority by Valarie M. Williams, its Deputy Director for Programs, sign, seal, and as its act and deed deliver the within-named Agreement As To Restrictive Covenants, and that S he, together with the other witness witnessed the execution thereof.



SWORN to before me this 8th
 day of December, 2006.

Dolores Edwards (L.S.)
 Notary Public for South Carolina
 My Commission Expires: 4-27-2011



Palms on Ashley River

4370 Ladson Rd, Ladson, SC 29456, USA

Latitude, Longitude: 32.9626005, -80.1565427



Date	11/20/2023, 2:15:17 PM
Design Code Reference Document	ASCE41-13
Custom Probability	
Site Class	D - Stiff Soil

Type	Description	Value
Hazard Level		BSE-2N
S _S	spectral response (0.2 s)	1.636
S ₁	spectral response (1.0 s)	0.555
S _{XS}	site-modified spectral response (0.2 s)	1.636
S _{X1}	site-modified spectral response (1.0 s)	0.832
F _a	site amplification factor (0.2 s)	1
F _v	site amplification factor (1.0 s)	1.5
ssuh	max direction uniform hazard (0.2 s)	2.225
crs	coefficient of risk (0.2 s)	0.735
ssrt	risk-targeted hazard (0.2 s)	1.636
ssd	deterministic hazard (0.2 s)	5.235
s1uh	max direction uniform hazard (1.0 s)	0.697
cr1	coefficient of risk (1.0 s)	0.795
s1rt	risk-targeted hazard (1.0 s)	0.555
s1d	deterministic hazard (1.0 s)	1.604

Type	Description	Value
Hazard Level		BSE-1N
S _{XS}	site-modified spectral response (0.2 s)	1.091
S _{X1}	site-modified spectral response (1.0 s)	0.555

Type	Description	Value
Hazard Level		BSE-2E
S_S	spectral response (0.2 s)	0.932
S_1	spectral response (1.0 s)	0.264
S_{XS}	site-modified spectral response (0.2 s)	1.05
S_{X1}	site-modified spectral response (1.0 s)	0.494
f_a	site amplification factor (0.2 s)	1.127
f_v	site amplification factor (1.0 s)	1.872

Type	Description	Value
Hazard Level		BSE-1E
S_S	spectral response (0.2 s)	0.112
S_1	spectral response (1.0 s)	0.028
S_{XS}	site-modified spectral response (0.2 s)	0.179
S_{X1}	site-modified spectral response (1.0 s)	0.067
F_a	site amplification factor (0.2 s)	1.6
F_v	site amplification factor (1.0 s)	2.4

Type	Description	Value
Hazard Level		TL Data
T-Sub-L	Long-period transition period in seconds	8

DISCLAIMER

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Town of Summerville, South Carolina

Freedom of Information Request Form

Name of Requester Emily Long

Requesting Organization Partner Engineering and Science, Inc.

Address 1515 Mockingbird Lane, Suite 840 Charlotte, NC 28209

Phone Number 8542143856 Email elong@partneresi.com

Under the South Carolina Freedom of Information Act, §30-4-10 et seq., I am requesting an opportunity to inspect and/or obtain copies of the following public records:

To Whom It May Concern:

Partner Engineering and Science, Inc. (Partner) is currently conducting an environmental assessment at the following property:

4370 Ladson Road, Summerville, SC 29456

As part of the investigation, Partner is requesting copies of any and all records you have for the above-referenced property pertaining to the following:

- Current Local Building Permits/Codes in effect
- A copy of the most recent Building Inspection Report (if available)
- Certificate of Occupancy

EL (Initial) I understand that the Town of Summerville has ten (10) days, excluding weekends and Town holidays to respond to the above request and that I may have to pay the costs of copying, research hours and postage.

eSigned via SeamlessDocs.com
Emily Long

Key: 7980820a01004ed4c4b57f1c1841de14

Signature

06-02-2025

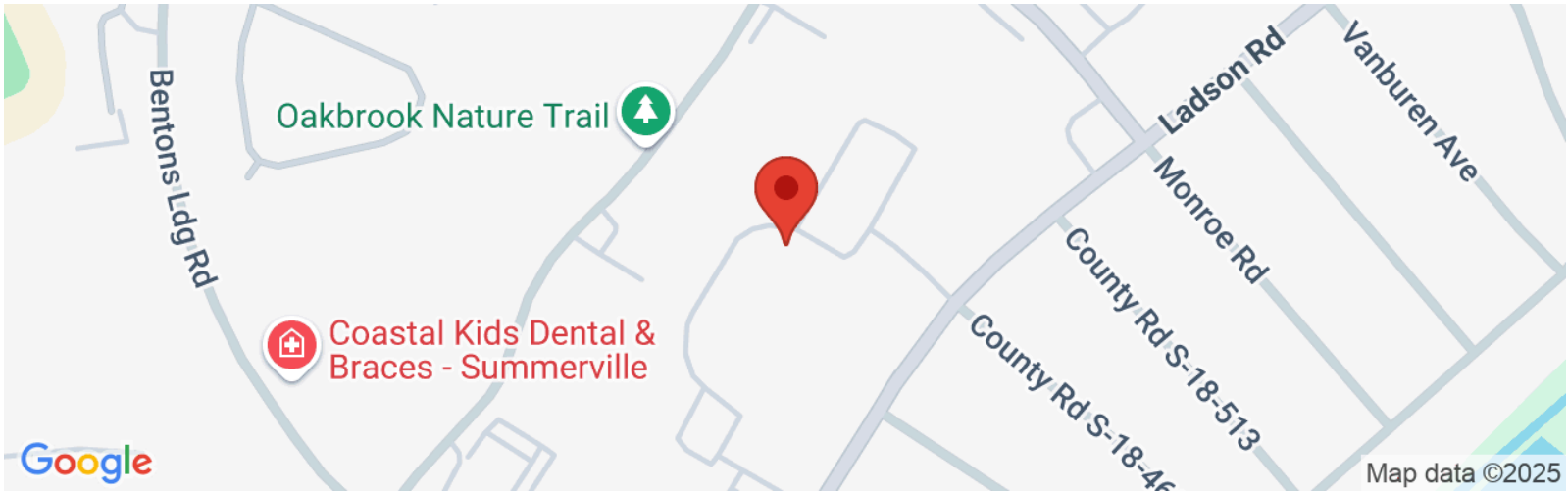
Date

For Office Use Only



4370 Ladson Rd, Ladson, SC 29456, USA

Latitude, Longitude: 32.9622327, -80.1572091



Date	5/1/2025, 11:31:11 AM
Design Code Reference Document	ASCE41-13
Custom Probability	0.2
Site Class	D - Stiff Soil

Type	Description	Value
Hazard Level		TL Data
T-Sub-L	Long-period transition period in seconds	8

Type	Description	Value
Hazard Level		Custom
Custom Probability	Decimal probability of exceedance in 50 years for target ground motion.	0.2
S _S	spectral response (0.2 s)	0.112
F _a	site amplification factor (0.2 s)	1.6
S _{XS}	site-modified spectral response (0.2 s)	0.179
S ₁	spectral response (1.0 s)	0.028
F _v	site amplification factor (1.0 s)	2.4
S _{X1}	site-modified spectral response (1.0 s)	0.067

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APPENDIX C: QUALIFICATIONS



Education

Bachelor of Science, Environmental Science, Marshall University, Huntington, WV
Associates of Applied Science, Computer Aided Graphics and Design, Big Sandy Community & Technical College

Training

Mortgage Bankers Association: Property Inspection Risk Management Course/School of Multi-family Property Inspections
Accreditation HUD Lead-Based Paint Visual Assessment Course
US EPA AHERA Building Inspector Refresher
US EPA AHERA Supervisor Initial Training Course
NIOSH 582 Sample and Evaluating Airborne Asbestos Dust

Highlights

12 years' experience in environmental consulting
11 years' experience writing Phase I Environmental Site Assessments
5 years' experience writing Property Condition Assessments
2 years' experience in NEPA assessments, Section 106 assessments, GIS and CAD software, asbestos inspections, sampling, abatement and monitoring, indoor air quality assessments, and groundwater sampling

Experience Summary

Emily Long is based in Charleston, South Carolina as a Project Assessor of Partner Engineering and Science, Inc. (Partner). In this role she specializes in Phase I Environmental Site Assessments (ESAs) and Property Condition Assessments (PCAs) across various market sectors and property types.

Project Experience

Various Commercial, Manufacturing, and Industrial Facilities – Nationwide, U.S.

Performed environmental assessments (HUD, Fannie Mae, ASTM Standard, etc.) of multi-family, commercial, manufacturing, and industrial facilities located nationwide of the United States. The assessments included the evaluation of chemical storage, aboveground storage tanks, underground storage tanks, regulatory databases, and current or former operations, which at times resulted in conducting Phase II ESAs to determine if the facilities operations impacted the soil or groundwater of the property. In addition, out of scope items performed by request included, asbestos containing materials, lead-based paint, radon, and lead-in-drinking water sampling.

Various Commercial, Manufacturing, and Industrial Facilities – Nationwide, U.S.

Performed Property Condition Assessment Real Estate Due Diligence services, which includes conducting walk-through surveys to assess the expected useful life of buildings, structural systems, roofs, facades, interior finishes, electrical, HVAC, mechanical systems, plumbing, and fire and life safety at a large range of commercial property types, including hotels, multi-family, retail, commercial, industrial, and similar work for financial institutions located nationwide of the United States.

EPA Brownfields Grant – Charleston County | City of North Charleston | Town of Cheraw, South Carolina

Involved with various day-to-day activities for multiple EPA Brownfields Assessment Grants. Activities included brownfields identification, stakeholder outreach, creation of a GIS database, on-site assessments (Phase I and Phase II ESAs), report preparation, updating the EPA's ACRES system, and communication with EPA and SCDHEC personnel.

Town of Hilton Head – Water Quality Monitoring

Coordinated and conducted field sampling at various locations to support the Town's water quality assessment of storm water runoff on the water quality of watercourses associated with varying land use types throughout the County. Also, maintained analytical database associated with analytical results, monthly data reporting, and report presentations.

Water Quality Monitoring and Water Quality Treatments for Various Mining Clients

Performed monthly sampling and daily chemical treatment of multiple outfalls for multiple clients. These projects included collecting samples from different watersheds, sediment pond outfalls, and preparing samples for analysis by laboratory personnel. In addition, to the chemical treatment and monitoring parameters of aluminum, selenium, iron, and manganese levels in sediment pond outfalls. The results from these monitoring projects are used by clients to comply with West Virginia Department of Environmental Protection regulations governing stormwater discharge from mining facilities.

Government and Medical Facilities, South Carolina

Performed asbestos sampling and asbestos abatement air monitoring for various projects at multiple US government facilities in South Carolina. The projects included asbestos inspections, asbestos abatement air monitoring and project management, and indoor air quality assessments.

Telecommunications Client – NEPA Compliance Program – Nationwide, U.S.

Performed Phase I environmental assessments, NEPA assessments, and generated topographic and APE maps to the cultural resources team for Section 106 & State Historic Preservation Office (SHPO) reviews and submittals on an ongoing basis nationwide.

Oil and Gas Client, Regulatory Compliance Assurance Program, Global

Responsible for collecting, formatting, and managing site-specific permits and federal and local regulations for import into a database and determined applicability of the regulations and permits for the client.

Confidential Client, South Carolina

Assisted in the completion of the Phase I and II ESAs and the voluntary clean-up contract for a proposed manufacturing facility in Charleston, South Carolina. The project also included the completion of a site management plan for arsenic-contaminated soils as well as remediation plan for miscellaneous asbestos piles.

Confidential Client, South Carolina

Assisted in the completion of the Phase I and II ESAs and the voluntary clean-up contract for a proposed apartment/condo complex in North Charleston, South Carolina. The project also included the completion

of a site management plan for contaminated soils and buried raw asbestos piles. The site management plan also consisted of outdoor air quality assessments.

[Contact](#)

elong@partneresi.com



Education

Bachelor's Degree in Architecture and Environmental Studies, Iowa State University, Ames, Iowa

Registrations

Certified Fire Protection Specialist (CFPS)

Leadership in Energy and Environmental Design Accredited Professional (LEED AP)

Training

Fair Housing Accessibility FIRST Training

Highlights

13+ years in the property due diligence industry.

Specialized in affording housing, multi-family, and skilled nursing properties.

5+ years in the HUD/affordable housing industry.

Equity Property Condition Assessments

Fannie Mae and Freddie Mac Reporting

HUD Capital Needs Assessments

HUD Property Capital Needs Assessments

Experience Summary

Mr. Stockdale is currently assigned to Partner's Affordable Housing team where he supports field staff and ensures quality in the equity level Property Condition Assessments. The affordable housing team provides reports to developers, owners and other partners applying for tax credits or looking to determine property needs for affordable housing complexes. Mr. Stockdale performs report reviews, revisions, and assigns/trains qualified staff on projects while managing projects from beginning to end.

Mr. Stockdale has performed Property Condition Assessments including equity, affordable housing, LIHTC, Fannie Mae, HUD MAP, HUD LEAN, and Freddie Mac reports over the last 10 years for a diverse range of building types including institutional, commercial, industrial, residential, and skilled nursing. He has also specialized in work for public housing institutions including Facilities Needs Assessments, HUD RAD Capital Needs Assessments, Energy Audits, and demolition/disposition reports.

In previous positions, William has worked primarily for HUD FHA lenders and developed skills working with the HUD e-tool, understanding HUD accessibility requirements (ADA, FHA, UFAS), coordinating with site staff, determining property needs for affordable housing projects, and understanding lender/underwriter requests/requirements.

Prior to working on Property Condition Assessments, Mr. Stockdale developed construction documents and schematic designs at an architectural design firm and performed due diligence at a property insurance due diligence firm.

Project Experience

Affordable Housing/LIHTC Assessments

Texas LIHTC Assessment, Corpus Christi, Texas. Mr. Stockdale managed and reviewed LIHTC Assessments for a developer with interest in multiple properties in Texas. William ensured quality reports and that tables and reporting followed requirements of the Texas Department of Housing & Community Affairs. The properties developed renovation scopes of work from the reports to receive funding from requested sources.

Falcon Portfolio, Bridge to LEAN/MAP projects. Mr. Stockdale reviewed and managed the portfolio of multi-family and skilled nursing facilities located throughout the US. The properties were in foreclosure, and many were in varied to poor condition. The client was interested in purchasing the properties and needed thorough due diligence to determine the scope of repair needs of the buildings, including some that were vacant. Also the client was interested in pursuing HUD FHA financing and required reports that would include repairs needed to secure that financing.

HUD LEAN Property Capital Needs Assessments

Kentucky LEAN Portfolio. Mr. Stockdale performed Property Capital Needs Assessments for several skilled nursing properties throughout Kentucky for a portfolio seeking financing through HUD's LEAN 232 program. The skilled nursing properties varied in age and scope due to the varying use of the buildings and the locations of many of the properties in smaller towns.

HUD MAP Capital Needs Assessments

Chapel Hill Apartments, Indianapolis, Indiana. Mr. Stockdale performed Capital Needs Assessments for a large apartment complex on the west side of Indianapolis. The complex included townhouse and garden-style apartments of varying ages, condition, and layouts. Due to the property's age and location, the project included full requirements for environmental and engineering intrusive reports. Mr. Stockdale coordinated the on-site inspection teams to ensure completion of the large project on time.

The Police Apartments, Buffalo, New York. Mr. Stockdale reviewed and managed the Capital Needs Assessment, as well as performed client revisions, on the historic project located in downtown Buffalo. The project was located in a former police station that is located on the National Register of Historic Places. The building had recently undergone a rehabilitation and addition which lead to differing accessibility requirements as well as additional environmental reporting needs.

Property Condition Assessments

Industrial Portfolio, Florence, Kentucky. Mr. Stockdale performed Property Condition Assessments for several industrial buildings near the Cincinnati airport, including storage, aged industrial, and incubator spaces. The portfolio was requested with a tight turnaround so William performed all inspections to provide the client the requested reports in a timely manner.

Equity Project on Ameriprise Headquarters, Minneapolis, Minnesota. Mr. Stockdale performed an equity Property Condition Assessment for a large downtown headquarters tower in Minneapolis. The detailed reporting had many client requirements due to the high scope of the project, large financial requirements of the loan, and multiple uses of the building.

William Stockdale, CFPS, LEED AP

Public Housing Capital Needs Assessments

RAD conversion, Pawtucket, Rhode Island. Mr. Stockdale performed Capital Needs Assessments and Energy Audits on public housing complexes owned by the Pawtucket Housing Authority. This work included multi-family complexes with garden-style or townhouse units as well as mid- and high-rises with senior apartments. Mr. Stockdale navigated the various accessibility requirements for the buildings due to their age, design, and funding sources.

RAD/Demolition & Disposition Reports, Wilmington, North Carolina. Mr. Stockdale performed Capital Needs Assessments, Energy Audits, and Demolition & Disposition reports for public housing complexes, which allowed the housing authority to make informed decisions on the course of action for its housing stock. This work included many properties that were in varied to poor condition due to age and red-flag building materials.

Facilities Needs Assessments

Facilities Needs Assessment, Chicago, Illinois. Mr. Stockdale performed Facilities Needs Assessments for several complexes owned by the Chicago Housing Authority. The reporting included detailing individual mechanical equipment throughout the complexes, determining immediate needs and needed further assessments, and projecting future capital needs. Projects included multi-family complexes with garden-style or townhouse units as well as mid- and high-rises with senior or smaller apartments.

Speaking

HUD Capital Needs Assessment Panel, Southwest Mortgage Advisory Council Annual Conference, Fort Worth, Texas, 2023. Mr. Stockdale was invited to be on a panel with other HUD needs assessor leads and Technical Directors of the Texas HUD branch to discuss HUD MAP CNA requirements. The panel discussed items needed to speed reports through HUD underwriting as well as MAP accessibility reporting requirements.

Contact

wstockdale@partneresi.com



Education

A.S in Mathematics
B.S in Environmental Science, Rutgers University

Registrations

NJDEP-UST Subsurface Evaluation, Tank Testing
Installation & Closure Certification

Training

OSHA 40-Hour Hazwoper
OSHA 8-Hour Hazwoper Refreshers
ASTM Technical and Professional Training

Highlights

Over 15 years of experience in the environmental consulting industry
Over 15 years of experience in management, marketing, and regulatory compliance

Experience Summary

Ms. Dahl is a Principal and National Client Manager focusing on due diligence products for commercial real estate transactions. She services private and institutional equity investors, developers, financial institutions, Fannie Mae Lenders, and Freddie Mac Lenders with environmental site assessments, property condition assessments, seismic studies, construction monitoring, and remedial design/implementation. She has managed over 15,000 studies to support pooled collateral property undergoing securitization. She works closely with property managers, legal counsel, regulatory agencies, and special asset groups at banks providing insight into the risks and liabilities associated with properties and assistance in structuring various transactions. Ms. Dahl delivers exceptional service and adds value to businesses by assessing risks and exposures while formulating appropriate solutions. Her knowledge of environmental and engineering policy and ability to clearly convey issues to her clients allows them to accurately measure the risk associated with each deal, enhancing their overall portfolio.

Ms. Dahl formerly performed as a Project Manager for a Fortune 500 real estate firm, where her primary responsibilities were to manage field operations, remain apprised of latest state and federal regulatory mandates, and review Phase I Assessment reports to insure client scope of work was properly executed and deadlines were met. Ms. Dahl's field experience includes the successful completion of over 1,000 Phase I Environmental Site Assessments on various retail, office, industrial, hospitality, and multifamily properties.

Earlier in her career, Ms. Dahl assisted with the design of a contaminated groundwater treatment plant for a highly publicized Superfund site located in New Jersey, which is continually scrutinized and monitored by the media. She assisted with the writing of a feasibility study submitted to the EPA for the Superfund site and coordinated/ran daily public meetings with the citizens of the township providing constant interaction with public relations media.

Project Experience

Shopping Center Portfolio. A \$3.5 billion dollar acquisition project consisting of 467 retail shopping centers operating across 38 states. Phase I Environmental Site Assessments and Property Condition Assessments with special inspections were performed on each of the shopping centers. Multiple inspectors were coordinated and dispatched to each site within a three-week report completion timeline. Report deliverables also included inspection summaries which were incorporated into Environmental and Engineering spreadsheets for client/lender review. The acquisition was successful and highlighted Ms. Dahl's ability to thrive in a challenging fast-paced environment. Her valuable depth of experience, negotiation skills, and coordination of hundreds of engineering professionals as well as her responsiveness and expertise of client/lender's expedited timeline showed her ability to leverage strategic business partnerships and optimize customer experience.

Retail Bank Branch Portfolio. A \$1.9 billion dollar acquisition project consisting of 418 retail bank branches operating in 15 states. Environmental studies were performed on each asset including review of city directories, aerial photographs, Federal Regulatory Databases, and historic Fire Insurance Sanborn Maps within a three-week project completion timeframe. Research findings were incorporated into spreadsheets for client/lender review. The acquisition was successful and exemplified Ms. Dahl's ability to capture and meticulously execute high profile projects under a tight timeframe. Her valuable depth of experience, negotiation skills, and her ability to communicate, interpret, and present findings to client/lender in an expedited timeline highlighted her impressive capabilities.

Train Station. A multi-million dollar refinance project consisting of a historic passenger train terminal including over 1 Million SF of retail, office, and rail use. Phase I Environmental Site Assessments, Property Condition Assessments, and Zoning Assessments were performed on this trophy asset. Multiple inspectors were dispatched to each site to complete the reports within a two-week timeline. The transaction was successful and exemplified the professional acumen of Ms. Dahl and Partner's Engineering Team.

Superfund Site. Ms. Dahl assisted with the remediation of a highly publicized 1,350-acre Superfund site located in New Jersey. The facility manufactured dyes, pigments, resins and epoxy and disposed of over 47,055 drums of waste in an unlined landfill on site. Ms. Dahl assisted with the writing of a feasibility study submitted to the EPA, and coordinated and ran daily public meetings with the citizens of the town providing constant interaction with public relations media.

Distinctions

Ms. Dahl has been named one of Tomorrow's Real Estate Leaders in New York Real Estate Form Magazine in February/March 2013 issue for her role in the number of real estate transactions in NY.

Affiliations

Environmental Bankers Association
International Conference of Shopping Centers
CRE Finance
Mortgage Bankers Association
Commercial Real Estate Women (CREW)

Contact

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